

Wedderburn East

NEIGHBOURHOOD AREA STRUCTURE PLAN

DRAFT - May 7, 2025





LAND ACKNOWLEDGEMENT

Treaty Seven Indigenous Peoples

The Town of Okotoks acknowledges the original stewards of this land that we know and call Treaty 7 Territory, which includes the Blackfoot Confederacy First Nations, the Kainai, Siksika and Piikani. The Stoney Nakoda First Nations, which includes the Bearspaw, Chiniki and Goodstoney, the Dene First Nation of Tsuut'ina and the Métis Nation of Alberta. We vow to continue honouring and respecting the Indigenous Peoples Sacred and Traditional ways of life and will carry on this special relationship with the land so that generations to come can enjoy, use and live off the land as their ancestors did. We honour and respect this space, the water, the animals and all the beings who have a spirit and have been here long before us.

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First Reading Version

An aerial photograph of a rural landscape. In the foreground, there are large, flat fields, some of which are golden-brown, suggesting they have been harvested. A multi-lane road runs diagonally across the middle of the image. To the right of the road, there is a residential area with many houses and trees. The background shows a vast, flat plain extending to the horizon under a sky with scattered clouds. The entire image has a warm, golden-yellow color cast.

INTRODUCTION

Purpose

Plan Interpretation

Policy Context

Public Engagement

1.0

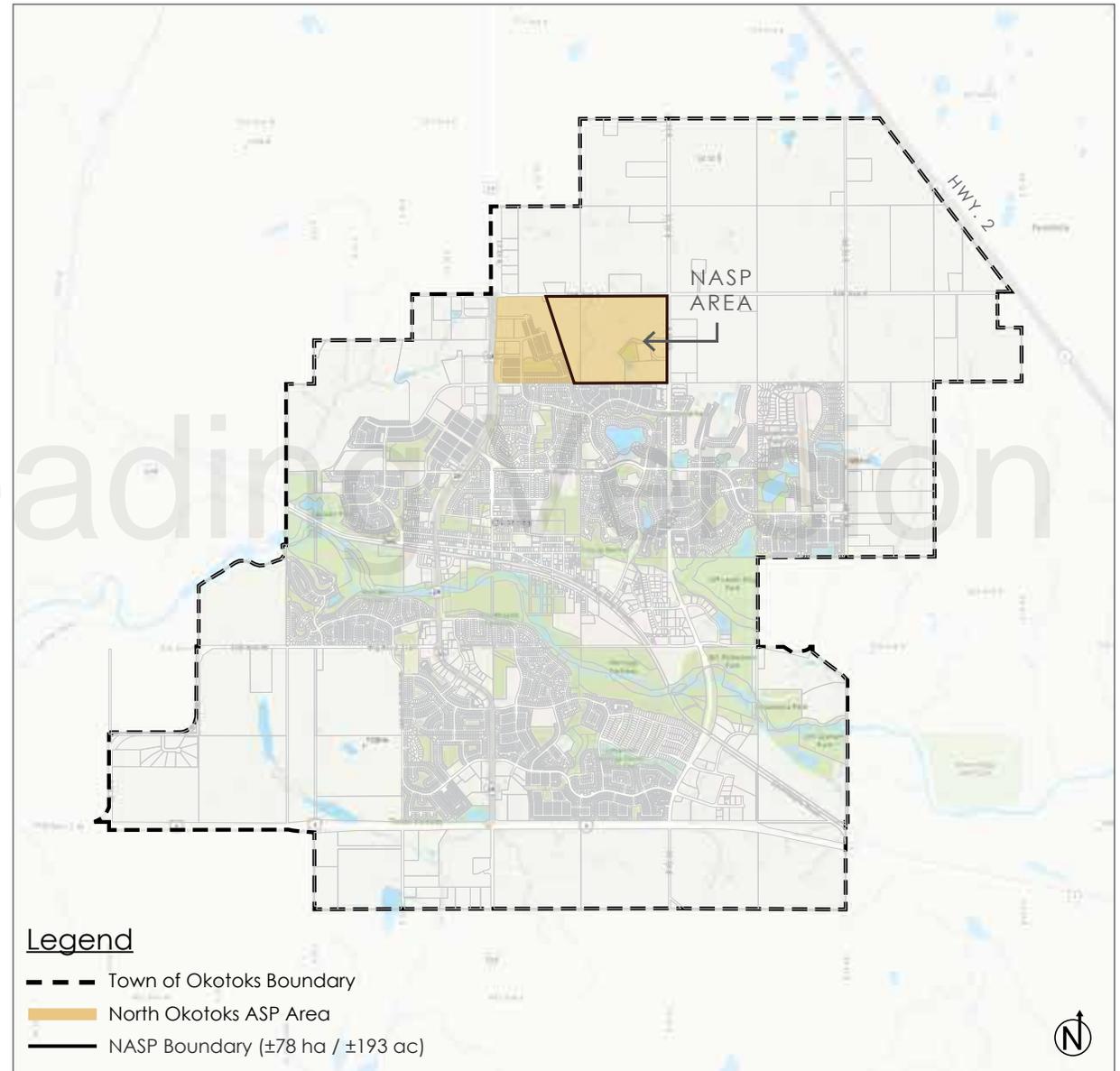
1.0 INTRODUCTION

1.1 Purpose

The Wedderburn Neighbourhood Area Structure Plan (NASP) is a statutory plan that builds on higher level policy in the Okotoks' Municipal Development Plan (MDP) and the North Okotoks Area Structure Plan (NOASP). The purpose of the NASP is to guide development of the eastern portion of Wedderburn by describing future land uses and establishing a structure for community design. More detailed policies on land use, density, parks and open space, mobility networks, community character, utility servicing and development phasing are included in this Plan to help implement the Town's strategic growth objectives articulated in the higher-level plans. This planning framework is described in more detail in section 1.3 of this Plan.

The Wedderburn NASP includes approximately 78 hectares (±193 acres) in north Okotoks and is situated south of 338 Avenue between the ATCO high pressure gas line and 32 Street East. This area is an extension of the developing community of Wedderburn just east of Northridge Drive. An approved Outline Plan is in place for the western quarter section of Wedderburn which was approved before the Town's new MDP (2021) required the preparation of NASPs replacing the need for Outline Plans. As Wedderburn began to develop, it became clear that a more natural boundary for a new NASP for the eastern portion of the community was the gas line rather than the quarter section boundary. As such, the NASP boundary includes a portion of the western quarter section which was approved under the old Outline Plan.

FIGURE 1. LOCATION





1.2 Plan Interpretation

The Wedderburn East NASP was prepared in accordance with section 1.7.2 of the Town's MDP, and is a statutory plan adopted by Town Council. As such, amendments to the NASP are subject to the requirements of the Municipal Government Act and the Town's Public Participation Policy.

This NASP contains tables and illustrations which provide information and context for policy statements. If a conflict arises between the text and the policy statements, the policy will take precedence.

POLICY INTERPRETATION

Policies in this NASP should be interpreted as follows:

1. Policy statements that contain the words "must," "will," or "shall" indicate compliance is mandatory in all situations and without exception.
2. Where policy contains the word "should", compliance is intended but may be relaxed by the Approving Authority in the following circumstances:
 - i. The policy can be achieved through alternative means that will result in an improved or equivalent outcome.
 - ii. Application of the policy is not feasible or practical.
 - iii. The overall intent of the policy is not compromised if the action is not strictly adhered to.
3. Where policy contains the word "may", there is no requirement to implement what is suggested; however, the Approving Authority must consider the implications in their decision-making.

MAP INTERPRETATION

1. A boundary, area, symbol or figure on a map in the NASP will be interpreted as approximate only and is not absolute except where the boundary or symbol coincides with a fixed point or legal boundary such as a property line, existing road or utility right-of-way.
2. Specific areas or measurements identified in the text, tables or figures of this NASP are subject to variation at the Land Use Amendment and Subdivision Application stage.
3. Plans and figures that show lot lines and building footprints are for conceptual purposes only. Actual lot boundaries and building locations will be more clearly defined at the Subdivision stage of development; therefore, modifications to these elements will not trigger an amendment to the NASP.
4. Plans and renderings showing the nature of future parks and pathways are conceptual only, and variations from these concepts may occur during the detailed design stage.
5. It is recognized that maps and figures within this NASP are subject to further refinement at the Land Use Amendment, Subdivision and Development permit stage of development. As such, as long as the intent of the policies contained herein are adhered to, there will be no requirement to amend the NASP.



1.3 Policy Context

The Town of Okotoks' Municipal Development Plan (MDP) was adopted in 2021 and requires the preparation of an Area Structure Plan (ASP) and Neighbourhood Area Structure Plan (NASP) prior to the development of new communities.

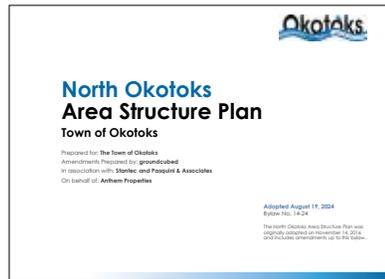
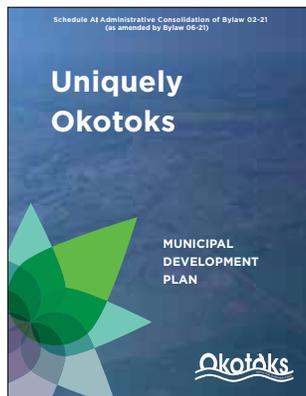
The Wedderburn NASP conforms to the MDP and North Okotoks ASP and to other statutory and non-statutory plans that comprise the Town's planning framework. This NASP should also be read in conjunction with the statutory and non-statutory plans listed below.

STATUTORY PLANS

- South Saskatchewan Regional Plan (2017)
- Town of Okotoks/MD of Foothills Intermunicipal Development Plan (2016)
- Town of Okotoks Municipal Development Plan (2021)
- North Okotoks Area Structure Plan (amended August, 2024)

NON-STATUTORY PLANS:

- Transportation Master Plan
- 338 Avenue Functional Planning Study
- 338 Avenue / 32 Street Street Expansion
- Active Transportation Implementation Plan (2024)
- Local Transit Plan (2019)
- Economic Development Strategic Plan
- Community Sustainability Plan (2016)
- Affordable Housing Strategy (2020)
- Climate Action Plan (2021)
- Culture, Heritage and Arts Master Plan (2018)
- Recreation, Parks & Leisure Master Plan (2023)
- Natural Asset Inventory (2020)
- Environmental Master Plan (2018)
- Social Wellness Framework (2020)
- Water Master Plan
- Stormwater Management Master Plan & Flood Mitigation Plan (2014)
- North Okotoks Annexation Lands Master Drainage Plan
- Sanitary Master Plan Update (2024)



The neighbourhood concept identified in the Wedderburn East NASP demonstrates how the development of this new community furthers the Town's principles and goals outlined in the higher level plans like the MDP and NOASP. The Wedderburn East NASP provides more detail on land use, urban design the logical sequence of development based on the extension of existing infrastructure in a cost-effective manner consistent with the Town's growth management policies.



1.4 Public Engagement

A public engagement process was initiated early in the development of this NASP. The goal was to work collaboratively with the Town of Okotoks, build awareness amongst the community and provide residents with opportunities to provide input and ask questions as the Plan was developed.

COLLABORATION WITH THE TOWN OF OKOTOKS

Early in the planning process, several meetings took place with the Town to ensure alignment with the Town's growth expectations and to better understand the technical requirements for the NASP. These expectations were solidified in a Project Charter and a visioning session was held to facilitate the planning and community design process.

PROJECT WEBSITE

A project website was established in early 2021 to provide information on the proposed NOASP amendment at this time. To ensure continuity, this website remained live throughout the NASP planning process and continued to provide information on the purpose, process and draft content of the Wedderburn NASP. It also served as a repository for background information, technical studies and general information associated with the Town's planning process and became a channel for feedback throughout the process.

PUBLIC ENGAGEMENT EVENTS

Public Open House #1 – In-person Information Session

An in-person information session was held on December 6, 2023 to present initial ideas on the extension of Wedderburn eastwards and to provide information on the planning process including the need for an amendment to the North Okotoks Area Structure Plan which would support the expansion of Wedderburn east to 32 Street E. The event was advertised in the Western Wheel and on the developer's project website and on the Town of Okotoks website. Residents of neighbouring communities were also notified of the open house via a

direct mail-out advertising the event.

A report on the feedback obtained at the open house was provided to Town administration and posted on the project website.

Application Circulation

As per Town standards, the draft NASP was circulated to internal departments within the Town of Okotoks, external interested parties, and residents living in close proximity to the Plan Area. The circulation period lasted approximately one month between January and February 2025. The Town did not receive any comments from the public during this circulation period.

Public Open House #2 – In-person Information Session

Once updates to the NASP were completed after the application was circulated, and prior to finalizing the NASP, a second open house was held on April 15, 2025 to provide information on the draft NASP including a description of the planning process and next steps.

The open house was a drop-in format so attendees could view the information, ask questions and have one-on-one discussions with the project team. The event was advertised in the Western Wheel and through direct mail-outs to residents of nearby communities. The open house was also advertised on a road-side sign and on the project and Town websites. A feedback form and graffiti board were available at the open house so attendees could document their feedback. This feedback was summarized in a "What We Heard Report" that was provided to the Town of Okotoks.

First Reading Version

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PLAN AREA CONTEXT

Location & Ownership

Plan Area Characteristics & Context

Background Studies

Site Opportunities & Constraints

2.0



2.0 PLAN AREA CONTEXT

2.1 Location & Ownership

Wedderburn is located in the northern portion of the Town of Okotoks just east of Northridge Drive and west of the approved Ridgemont NASP. The following features bound the Plan Area:

- 338 Avenue and rural residential properties to the north;
- 32 Street E. and the land included in the Ridgemont NASP which includes pasture land, St. James Church and the Holy Trinity Academy;
- The established communities of Tower Hill, Suntime and Crystal Shores to the south; and
- A high-pressure gas line (utility right-of-way) to the west and the first phases of Wedderburn which were approved under the Town's previous outline plan process in 2017.

The Plan Area encompasses ±78.2 ha (±193.2 ac) and includes parcels owned by Anthem Properties (62.1 ha/153.2 ac) and the Town of Okotoks (16.1 ha/39.8 ac). A summary of the parcels included in the Plan Area and their associated ownership are described in **Table 1** and illustrated in **Figure 2: Legal Descriptions and Ownership**.

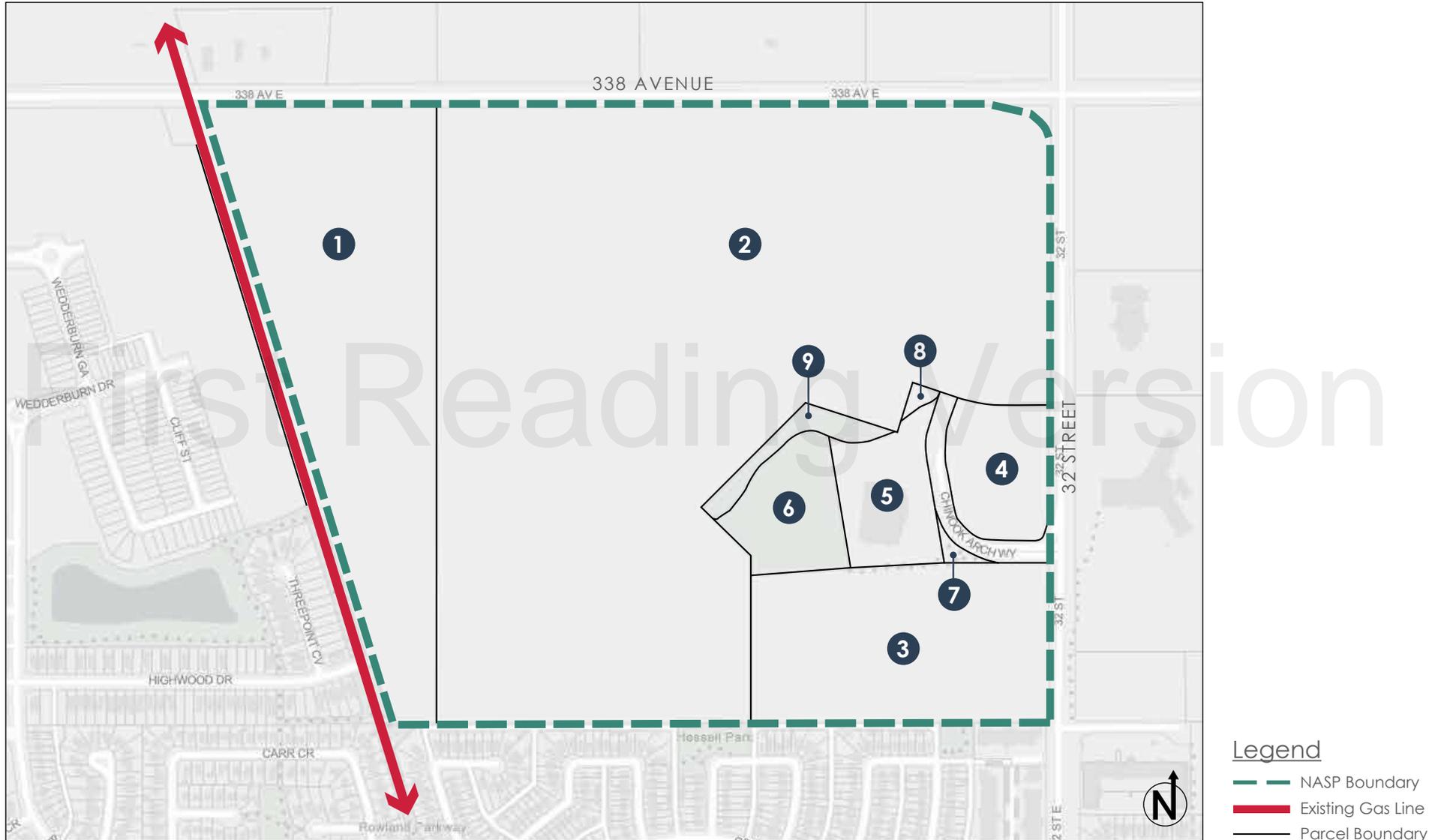
TABLE 1. LEGAL PARCELS AND OWNERSHIP

ID #	Legal Description	Title No.	Area (ha/ac)	% of Plan Area
ANTHEM PROPERTIES				79.5%
1	Portion of the NE-33-20-29-W4	191 085 905 191 085 906	16.9 ha/41.7 ac	21.7%
2	Portion of the NW-33-20-29-W4 (or portion of Plan 1810673, Block 1, Lot 1)	241 015 363 +27	45.1 ha/111.4 ac	57.8%
TOWN OF OKOTOKS				20.5%
3	Plan 1912072, Block 1, Lot 2	191 212 290	7.8 ha/19.3 ac	10.0%
4	Plan 1912072, Block 1, Lot 3	191 212 290 +2	2.2 ha/5.4 ac	2.8%
5	Plan 1912072, Block 1, Lot 4SR	191 212 290 +1	2.2 ha/5.4 ac	2.8%
6	Plan 1912072, Block 1, Lot 5MSR	191 212 290 +3	2.1 ha/5.2 ac	2.7%
7	Plan 1912072, Block 1, Lot 6MR	191 212 290 +4	0.1 ha/0.2 ac	0.2%
8	Plan 1912072, Block 1, Lot 7ER	191 212 290 +5	0.1 ha/0.2 ac	0.1%
9	Plan 1912072, Block 1, Lot 8ER	191 212 290 +6	0.7 ha/1.7 ac	1.7%
	Road - Chinook Arch Way		0.9 ha/2.1 ac	

*Note: ID# refers to the locator number, and associated parcel, show in **Figure 2** on the following page.*



FIGURE 2. LEGAL DESCRIPTION AND OWNERSHIP





2.2 Plan Area Characteristics & Context

A contextual analysis and several technical studies informed a thorough understanding of the area's existing conditions. The following is a description of the site characteristics, context and technical studies that informed the concepts presented in Section 3.0 of this plan.

2.2.1 TOPOGRAPHY

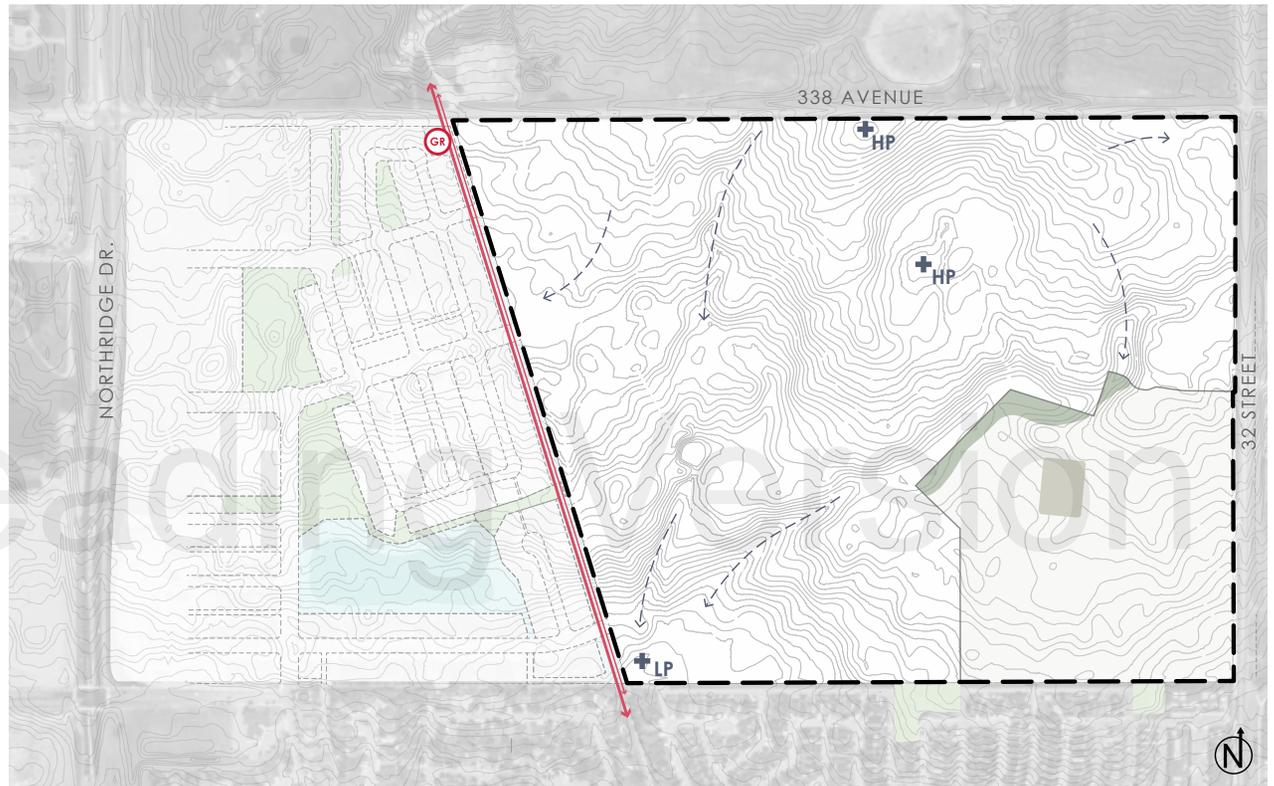
While there are minor undulations across the site, the majority of the Plan Area is relatively flat, with topography gradually sloping from the northeast corner towards the southwest with the lowest portion of the Plan Area along its southern border near the community of Crystal Shores. This gradual change in elevation allows for views of the Rocky Mountains.

Drainage in the Plan Area generally flows in the direction described above – from north to south and ultimately to the Sheep River. A key objective of the community design is to manage overland drainage holistically through a series of natural systems as part of the land use concept. A Staged Master Drainage Plan was completed as part of this planning process and submitted under separate cover.

2.2.2 EXISTING UTILITIES

There are two pipelines within the Plan Area, one is a high-pressure line operated by ATCO Gas (forming the western boundary of the Plan Area) and the other by Pipelines Ltd. (South). A

FIGURE 3. EXISTING CONDITIONS



Legend

- NASP Boundary
- Pipelines Ltd. Gas Line
- ATCO Gas High Pressure Line
- Existing Contour (0.5m)
- Direction of Drainage
- Environmental Reserve
- Gas Regulator Site
- High Point / Low Point

gas regulator site is located along the high-pressure line on 338 Avenue in the northwest corner of the Plan Area. There are no wells or oil and gas facilities located within the Plan Area or within one quarter section adjacent to the Plan Area.



2.2.3 EXISTING LAND USES

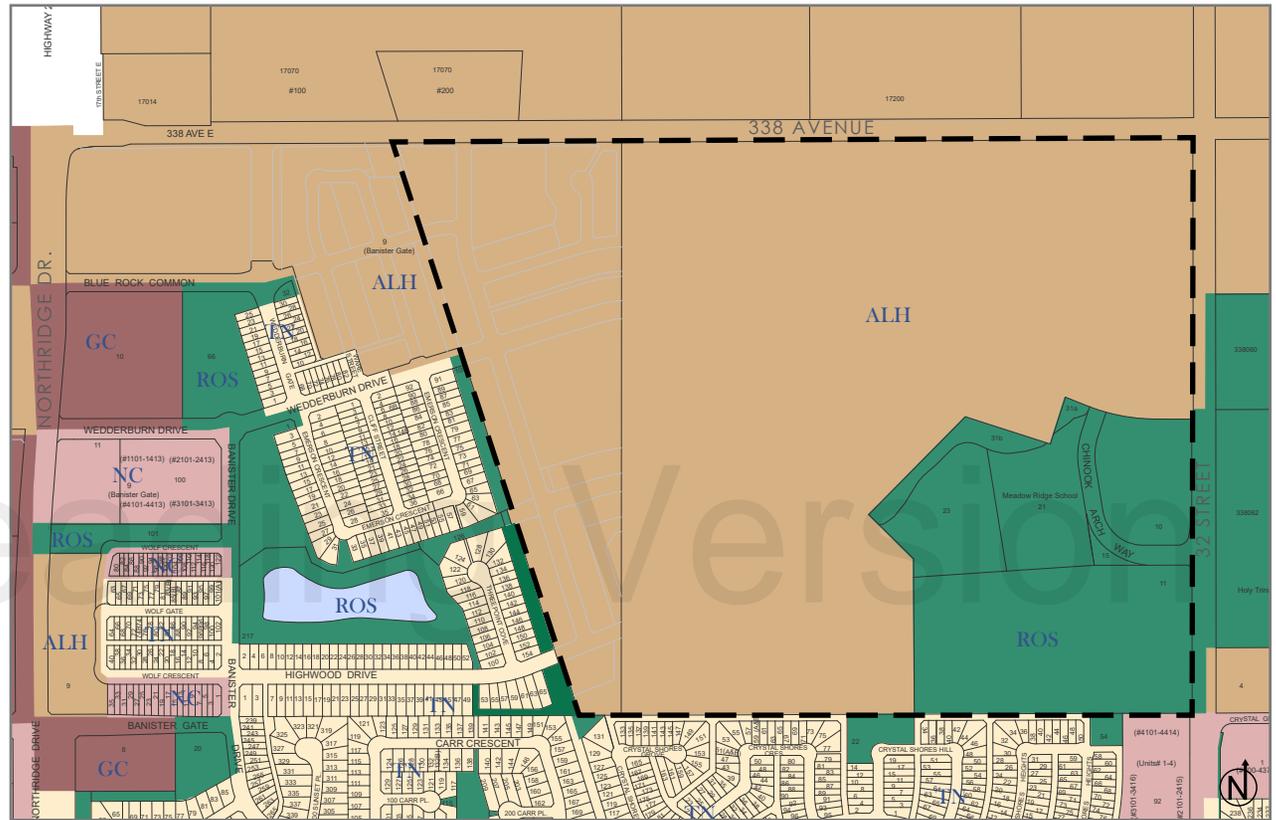
The Wedderburn NASP area is currently designated as an Agriculture and Land Holdings District (ALH) per the Okotoks Land Use Bylaw 17-21, which supports agricultural activities prior to urban development. The Community Campus Site, which includes the Meadow Ridge School just west of 32 Street, is designated Recreation and Open Space District (ROS) which accommodates the school use and related facilities.

2.2.4 SURROUNDING LAND USES

The adjacent established communities of Tower Hill, Suntree and Crystal Shores are primarily residential communities designated Traditional Neighbourhood District (TN). Other land use designations associated with these communities include a Neighbourhood Core District (NC), Recreation and Open Space District (ROS), and General Commercial District (GC).

The quarter section to the west of the Plan Area includes the first phases of Wedderburn that were approved under the Town's previous Outline Plan process in 2017. This portion of the community includes a similar mixture of land uses as Tower Hill and Crystal Shores, with the addition of Direct Control districts along Northridge Drive to facilitate the development of this gateway area into a mixed-use activity hub.

FIGURE 4. EXISTING LAND USES



Legend

- NASP Boundary
- ALH: Agricultural & Land Holdings District
- GC: General Commercial District
- NC: Neighbourhood Core District
- TN: Traditional Neighbourhood District
- ROS: Recreation & Open Space District



2.3 Background Studies

The following technical studies were completed early in the planning process to better understand potential physical constraints to development.

2.3.1 GEOTECHNICAL INVESTIGATION

A geotechnical investigation was undertaken to examine the subsurface soil conditions of the Plan Area and provide recommendations for design and construction of site servicing and residential development.

To assess the geotechnical site conditions including soil stratigraphy, groundwater conditions and soil properties, a program of borehole drilling and installation of standpipe wells was combined with laboratory testing. The field work consisted of 20 boreholes evenly distributed across the land owned by Anthem Properties. The study indicated that the land generally consists of topsoil overlying glacial silt and silty clay till soils which support development. Groundwater was encountered in piezometers at depths ranging between 2 to 9 metres below current site grades, therefore weeping tile subsurface drainage will be required for all lots where the seasonally high groundwater table is within 2.1 metres of the lowest top of footing.

Overall, this investigation indicated that there are no geotechnical constraints to development.

2.3.2 HISTORICAL RESOURCES OVERVIEW

A historical resources overview was conducted for the Plan Area in 2022 which indicates there are no recorded historical resource sites regulated by the provincial government within the Plan Area.

The Wedderburn East Plan Area was granted *Historical Resources Act* approval on November 8, 2024. As a result, no further work is recommended in this regard.

2.3.3 BIOPHYSICAL IMPACT ASSESSMENT

The Plan Area is within the Foothills Parkland Natural Subregion in the transition zone between the Foothills Parkland Subregion and the Foothills Fescue Subregion. The area was traditionally used for agriculture, including pasture and croplands. The biophysical studies indicate that there are no Provincially environmentally significant areas within or immediately adjacent to the Plan Area.

Vegetation within the Plan Area consists of primarily shrubland and modified pasture which is consistent with the area's former agricultural use. No rare plants or rare plant communities were identified within the Plan Area as the majority of the land has experienced a high amount of agricultural disturbance.

In terms of hydrological features, the Plan Area contains seven wetlands, one intermittent stream, and one ephemeral drainage course and is considered low to moderate quality habitat for wildlife including but not limited to waterbirds, songbirds, and some mammal species such as coyotes and deer.

2.3.4 PHASE 1: ENVIRONMENTAL SITE ASSESSMENT

A Phase 1 Environmental Site Assessment (ESA) was completed for Anthem lands in Plan Area in 2022 and for the Town of Okotoks lands in 2015 for the construction of the Meadow Ridge School. Both studies provided an overview of historical on-site environmental considerations and found no evidence of potential or actual environmental contamination in connection with the area as a result of current or past activities on the land or neighbouring properties. Based on the findings of these reports, no further investigation (i.e. Phase II ESA) is warranted. If staining, unusual odours, or buried debris is encountered within the Plan Area during construction, further assessment by an environmental consultant may be warranted at that time.



2.3.5 TRADITIONAL KNOWLEDGE & LAND USE ASSESSMENT

The Town of Okotoks' commissioned a Traditional Knowledge and Land Use Assessment of land that was undisturbed and minimally disturbed primarily within the Sheep River Valley. The assessment identified traditional resources and other cultural elements within the Town that are important to First Nation's culture and history. This assessment shows that although people were present year-round, the land where the Town is situated was an important wintering area and prime habitat for bison. The Sheep and Highwood River Valleys offered wood and other plant resources for the people, and the chinooks made the area important habitat for bison as the warm winds would clear or reduce snow cover from important grazing lands.

According to the assessment, there are no recorded archeological sites in Wedderburn. Most of the recorded sites in the Town have been disturbed by urban development and are situated outside the inner Sheep River valley in the prairie upland adjacent to the valley. The assessment found that this is a typical pattern in the northern Plains as the inner river valleys tend to be less disturbed by development and natural processes like sedimentation through flood and other depositional processes preserved and buried sites in sediment.

Despite the lack of archeological sites in the Wedderburn area, the NASP planning processes is an opportunity to learn and build awareness of traditional land use by First Nations and acknowledge the history and cultural significance of the land to Indigenous communities.

For example, First Nations would use their knowledge of animal behaviours and plant phenology to determine when bison would arrive to graze in the spring. The buffalo bean is a spring blooming native plant that signaled when the bison might arrive to the people wintering in the Sheep River valley. The uplands, including the land where Wedderburn is situated, may have been one of the important bison grazing areas and the buffalo bean plants which continue to populate the prairies in this area, remind us of the traditional use and cultural significance of the area by First Nation peoples.



Final Drafting Version



2.4 Development Opportunities & Constraints

The existing conditions of the Plan Area and the planned development in adjacent communities create several opportunities and constraints, which are described as follows:

CONSTRAINTS

- The utility right-of-way for the high-pressure gas line and intersection spacing requirements on 338 Avenue influence the structure and block layout of the community.
- The utility right of way associated with the high-pressure gas line forming the western boundary of the Plan Area requires a 15m building setback for future development.
- Existing roads and key access points on 32 Street are dictated by existing development and the Ridgemont NASP. Fixed access points are also determined by the developing portion of Wedderburn to the west. These fixed points influence the extension of the road network east into the NASP area.
- Topography and the natural drainage course influence the location of the storm pond, which becomes part of the open space network in the proposed concept plan.
- Environmentally sensitive areas in the centre of the Plan Area near the property line shared with the Community Campus Site should remain in their natural condition.

OPPORTUNITIES

- New development can extend the pattern of urban development established in Wedderburn West to 32 Street.
- Increase housing supply and diversity in Okotoks leading to more housing choice for a broad demographic.
- Future commercial and higher density can be clustered in nodes to create opportunities for gateways to the community.

- Establishing a Neighbourhood Hub in the northeast portion of the Plan Area enables a range of commercial, community service and higher density residential development. This Hub will integrate with future commercial and mixed-use development on the east side of 32 Street, as shown in the approved Ridgemont NASP.
- Create a more complete and walkable community by providing a range of uses, housing types and outdoor amenities within easy walking distance of new residential nodes.
- Enhance connectivity to the Town's regional pathway system and create opportunities for active transportation. The ATCO gas right-of-way provides an opportunity for a new north-south regional pathway connection to the established communities south of Wedderburn.
- Provide new and unique outdoor recreation amenities.
- Integrate stormwater management infrastructure into the network of public open spaces. The storm pond presents an opportunity to create a focal point in the community – providing seamless public open space and a public amenity for the developing community and communities to the south.
- Re-use stormwater for irrigation in public parks, where feasible.
- Plan for future connections to the Community Campus Site which link Meadow Ridge School, the future High School and regional pickle ball facility sites to Wedderburn and the established communities surrounding the NASP area.
- Create a more complete community by incorporating existing and future amenities in the Community Campus lands into Wedderburn, and enhancing connections between new and existing spaces.
- Enable more opportunities for social connection throughout the neighbourhood through park design and a mix of land uses.

WEDDERBURN NEIGHBOURHOOD PLAN

Vision

Guiding Principles

Land Use Concept

Parks & Open Space

Mobility

Community Design

Servicing

Phasing

3.0

3.0 WEDDERBURN NEIGHBOURHOOD PLAN

3.1 Vision

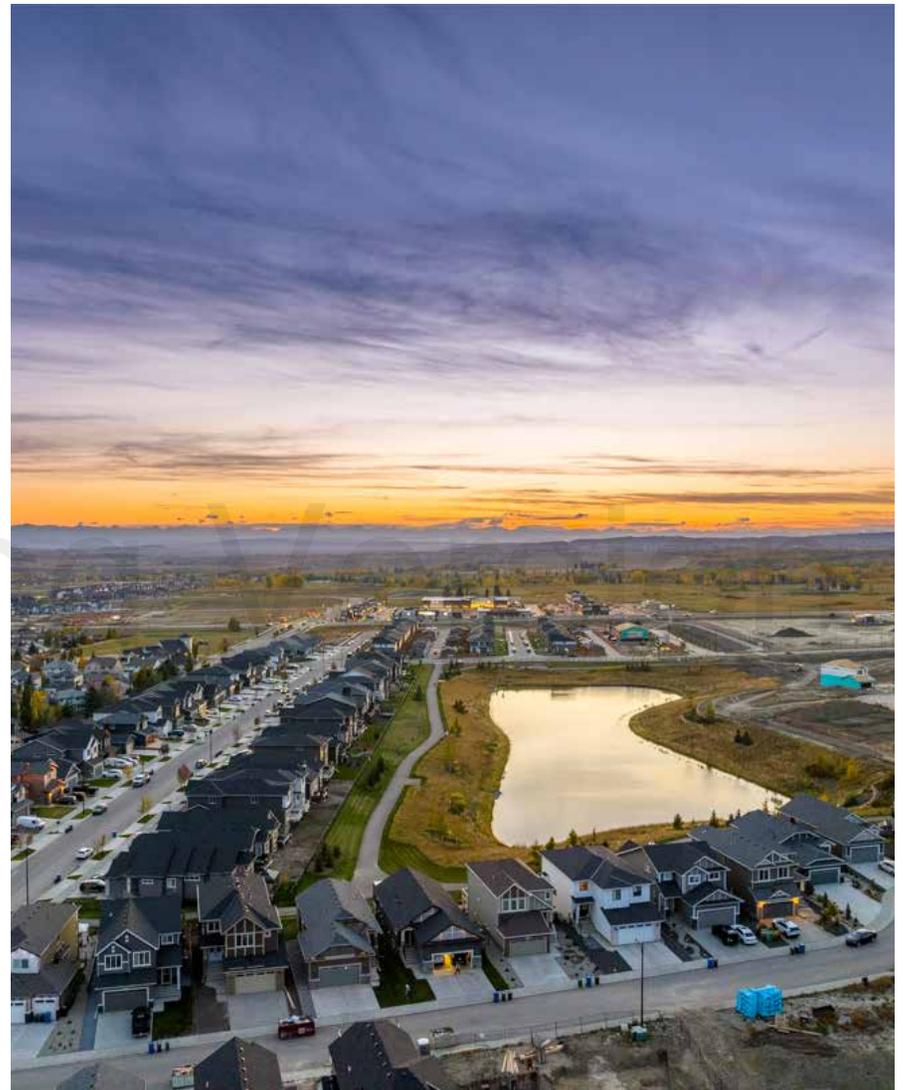
Wedderburn East builds on the vision established in earlier phases of the community and focuses on creating an **inclusive neighbourhood that honours the rich history of the region.**

Wedderburn East is a community characterized by a mix of housing, public amenities, and employment opportunities which create a dynamic, inclusive and multi-generational community.

The Wedderburn East lands are situated within an identified growth corridor in the Town, and these lands serve as an important bridge between the initial phases of Wedderburn near Northridge Drive and existing institutional development which includes Meadow Ridge School, Holy Trinity Academy and St. James Church on 32 Street East. Development of Plan Area will help realize sustainable growth and provide greater amenities and housing options for new and existing residents of Okotoks.

A range of housing types will be offered throughout the Plan Area to support a diverse community. Homes and amenities will be integrated with high quality open spaces and pathways enabling residents to connect with each other and nature close to home. Direct, safe, and attractive mobility connections will allow residents to move actively and comfortably throughout Wedderburn and into adjacent neighbourhoods.

A Neighbourhood Hub, located at the intersection of 338 Avenue and 32 Street, will offer a variety of commercial and retail services, and higher density housing that contribute to the walkability of the community by providing additional amenities in the NASP area.





3.2 Guiding Principles

The goals for Wedderburn East are grounded in and support the overall vision for the community which aligns with the goals of the North Okotoks ASP, and the Town's planning framework more broadly.

+ PLACES TO LIVE & WORK

Through diverse housing types, unique community destinations, and a mix of land uses, residents will be able to live and thrive in a complete and inclusive neighbourhood.

+ PLACES TO CONNECT

By incorporating a range of parks, pathways, community amenities, prominent views, and naturalized areas, residents will be able to connect with their neighbours and the surrounding environment.

+ PLACES TO DISCOVER

Through thoughtful planning and design of the community, public places and in-between spaces will reflect the local context, animate and anchor distinct neighbourhoods with unique identities.

+ PLACES TO MOVE

Residents will enjoy an active lifestyle unique to Okotoks by prioritizing safety, quality, comfort, and complete active transportation networks through the integration of regional and local pathway connections, future transit networks, safe school routes, and active transportation infrastructure.

The following **guiding principles** establish a foundation for achieving the vision for Wedderburn East:

CONNECTIVITY

1. Create a permeable interface with neighbouring development.
2. Connect people through all modes of active transportation.

ACTIVITY

3. Create a network of central gathering places with unique amenities.
4. Generate economic activity through retail opportunities in the Neighbourhood Hub.
5. Focus on recreation for all ages and abilities.

INCLUSIVITY

6. Create a neighbourhood that's all-inclusive: home, school, shop, work, play.
7. Attract all market segments through housing diversity.

FIGURE 5. LAND USE CONCEPT





3.3 Land Use Concept

3.3.1 LAND USE DISTRICTS

The Land Use Concept shown in **Figure 5** illustrates the general location of proposed land uses, streets, and open spaces in Wedderburn East. The combination of land uses will encourage a variety of housing types integrated into a robust open space network and enable a more compact mixed-use and commercial node in the Neighbourhood Hub. The open space network is connected by a pathway system that supports active modes of travel within Wedderburn and to destinations beyond its boundaries.

3.3.2 STATISTICS

The statistics in **Table 2** provide a breakdown of the land uses within the NASP area. Wedderburn East consists of primarily residential development, with commercial uses incorporated into the Neighbourhood Hub at the intersection of 32 Street and 338 Avenue. A variety of park spaces make up the Municipal Reserve dedication, with two Environmental Reserves - one abutting the boundary of the Community Campus Site and the other connected to a natural drainage course in the southwest corner of the Plan Area.

Policy in the North Okotoks Area Structure Plan allows residential density in Wedderburn West to be considered in the density calculations for the Wedderburn East NASP Plan Area. Overtime, the target density across Wedderburn East and West is 12 units per acre.

Table 2 illustrates how this can be achieved.

Municipal Reserve dedication is based on all land owned by Anthem Properties in both East and West Wedderburn less Environmental Reserve dedication. As such, the Community Campus Site is excluded from the calculation. The total area required to be dedicated by the developer across East and West Wedderburn is 11.03 ha (27.26 ac). Approximately 4.40 ha (10.87 ac) has been dedicated west of the gas pipeline through previous subdivision applications. This results in a required 6.63 ha (16.38 ac) MR dedication in the Wedderburn East NASP area.

Working Version



TABLE 2. NASP STATISTICS

Wedderburn East NASP Area	ha	ac	% of GDA	Land Use ¹
Total Plan Area	78.97	195.14		
Environmental Reserve (Wedderburn E. & Campus Site)	1.21	2.99	-	ROS
Community Campus Lands (excl. ER)	15.30	37.81	-	ROS
Gross Developable area (GDA)	62.46	154.34	100.0%	-
Residential	31.20	77.10	50.0%	-
Low Density - Primarily Single-Detached (Laneless)	9.80	24.22	15.7%	TN
Low Density - Primarily Single-Detached (Laned)	7.97	19.70	12.8%	TN
Low Density - Primarily Semi-Detached (Laned)	5.88	14.52	9.4%	TN
Medium Density - Street Townhouses	3.77	9.32	6.0%	NC
Medium Density - Comprehensive Towns/Apartments	3.78	9.34	6.1%	NC
Commercial	3.11	7.68	5.0%	-
Commercial (Neighbourhood Hub)	3.11	7.68	5.0%	GC
Parks & Open Space	6.63	16.38	10.6%	-
Municipal Reserve	6.63	16.38	10.6%	ROS
Roads & Utilities	21.57	53.31	34.5%	-
Public Utility Lots (incl. storm pond)	3.22	7.96	5.2%	ROS
Road Widening (338 Ave. & 32 St.)	1.31	3.24	2.1%	-
Internal Roads & Lanes	17.04	42.11	27.3%	-
Municipal Reserve Dedication²	ha	ac	%	
Total Area Owned by Anthem (Wedderburn East & West)	110.70	273.55	-	-
Less Environmental Reserve (Owned by Anthem)	0.40	0.99	-	-
Gross Developable Area (GDA)	110.30	272.56	-	-
Municipal Reserves Owing (10% of GDA)	11.03	27.26	100.0%	
Municipal Reserves Dedicated (West Wedderburn)	4.40	10.87	39.9%	-
Municipal Reserves Owing (Wedderburn East NASP Area)	6.63	16.38	60.1%	-

NOTES:

¹ This table shows the anticipated land use districts that are likely to be applied to future land use amendment applications.

² As described in Section 3.3.2, the MR calculation excludes the Community Campus Site and is based on the total area owned by the developer in East and West Wedderburn.



TABLE 3. RESIDENTIAL DENSITY

Wedderburn East NASP Area	ha	ac	%	Units	% of Units	People ¹
Total Plan Area	78.97	195.14				
Environmental Reserve (Wedderburn E. & Campus Site)	1.21	2.99	-	-	-	-
Gross Developable Area	77.76	192.15	-	-	-	-
Future Regional Recreation & Sr. High School Sites	10.90	26.93	-	-	-	-
Gross Residential Area (GRA)	66.86	165.21				
Residential						
Low Density - Primarily Single-Detached (Laneless) ²	9.80	24.22	31.4%	265	16.3%	714
Low Density - Primarily Single-Detached (Laned) ³	7.97	19.70	25.6%	279	17.2%	753
Low Density - Primarily Semi-Detached (Laned) ⁴	5.88	14.52	18.8%	265	16.4%	716
Medium Density - Street Townhouses ⁵	3.77	9.32	12.1%	319	19.6%	860
Medium Density - Comprehensive Towns/Apartments ⁶	3.78	9.34	12.1%	413	25.5%	1,115
Carriage House/Secondary Suites ⁷	-	-	-	82	5.2%	82
TOTAL	31.20	77.10	100.0%	1,622	100.0%	4,241
Wedderburn West	ha	ac	%	Units	% of Units	People¹
Total Area	31.73	78.41				
Environmental Reserve	0	0	-	-	-	-
Gross Developable Area	31.73	78.41	-	-	-	-
Major Commercial Centre (>10.0 acres)	4.50	11.12	-	-	-	-
Gross Residential Area (GRA)	27.23	67.29				
Residential						
Approved TN Area ⁸	9.84	24.33	51.9%	328	43.0%	886
Approved NC Area (Wedderburn Dr.) ⁸	2.75	6.80	14.5%	208	27.3%	562
Approved NC Area (Wolf Crescent) ⁸	1.21	2.99	6.4%	40	5.2%	108
Future TN Area ⁸	2.62	6.47	13.8%	85	11.1%	230
Future NC Area ⁸	2.53	6.25	13.3%	102	13.4%	275
TOTAL	18.95	46.84	100.0%	763	100.0%	2,060
Residential Density (Wedderburn East & West)	GRA (ha)	GRA (ac)	Units	UPH	UPA	People¹
Wedderburn East	66.86	165.21	1,622	24.3	9.8	4,241
Wedderburn West	27.23	67.29	763	28.0	11.3	2,060
TOTAL Wedderburn East & West	94.09	232.50	2,385	25.8	10.3	6,301

NOTES:

¹ Assumes 2.7 people per unit, except with respect to carriage suites which assumes 1 person per unit.

² Assumes ±10.4m wide lots

³ Assumes ±8.5m wide lots

⁴ Assumes ±6.7m wide lots

⁵ Assumes ±5.5m wide lots

⁶ Assumes multi-residential sites will develop at 40, 30 and 60 upa for Sites 1, 2 and 3 respectively. Refer to Figure 5 for reference.

⁷ Assumes 15% of laned lots for primarily single-detached housing will add a carriage suite over time.

⁸ "Approved" areas have land use and subdivision approval as of April 1, 2025. "Future" areas have not been redesignated but are identified in an approved Outline Plan.



FIGURE 6. HOUSING TYPES

● Low Density ● Medium Density





3.3.3 RESIDENTIAL DEVELOPMENT

Residential development accounts for approximately 50.0% of the Gross Developable Area and is the predominant land use in the Plan Area. The 31.2 ha (77.1 ac) of residential development will be a mix of low and medium density housing options which are expected to develop in a variety of forms including single and semi-detached housing typologies with front-drive or laneway access as well as attached housing including street townhouses, traditional townhouses and apartment buildings. Refer to **Figure 6: Housing Types**.

New residential development in East Wedderburn is expected to bring approximately 1,622 units to the north Okotoks area with an estimated 4,241 people.

Low Density Residential

Various lot sizes and configurations will be incorporated into the development to accommodate wider residential lots for single detached houses with front drive access. Residential block layouts also enable small narrower lots with rear lane access for both single and semi-detached housing throughout the residential area. Lot sizes for single detached homes with front drive or rear lane access may range in width to accommodate a variety of housing product.

Laneway residential blocks provide opportunities for a range of housing types from narrow single and semi-detached housing to street-oriented townhouses or rowhouses.

Low density residential development is expected to comprise 23.7 ha (58.6 ac) which is 37.9% of the Gross Developable Area and 75.8% of the total residential area (refer to **Tables 2 and 3** respectively).

Medium Density Residential

A variety of attached housing types can be accommodated in the medium density residential areas shown in **Figure 5: Land Use Concept**. Medium density residential development consists of low profile street townhouses on laned lots with garage access, and comprehensively designed townhouses and low to medium profile apartment buildings with ground-oriented units. These housing forms are expected to account for 24.2% of the total residential area (refer to **Table 3**).



3.3.4 COMMERCIAL DEVELOPMENT

The **Neighbourhood Hub** in the northeast portion of the Plan Area is intended to be a local mixed-use node containing commercial and retail uses surrounded by higher density attached housing.

Since regional shopping opportunities exist in the D’Arcy and Wedderburn Gateway areas to the west, commercial uses in Wedderburn East should offer smaller-scale commercial opportunities where residents can meet their daily shopping and personal service needs close to home. These uses should be located within the Neighbourhood Hub area creating more opportunities for niche and local businesses in the northern portion of the town.

TABLE 4. COMMERCIAL STATISTICS & ANTICIPATED JOBS

Land Use	ha	ac	Approx. Building Area (m ²) ¹	Anticipated Jobs ²
Neighbourhood Hub Commercial Area ²	3.11	7.68	7,800 m ²	156

¹ Assume 0.25 FAR for Neighborhood Hub development.

² Assume 50m² / employee for Neighborhood Hub.

Reading Version



3.3.5 LAND USE POLICIES

General

Policy 3.1 Land uses should generally conform to the Land Use Concept shown in **Figure 5**. Minor changes to the concept will not require an amendment to the NASP.

Residential

Policy 3.2 The minimum required density shall align with the North Okotoks Area Structure Plan which indicates that a density of 10 units per gross residential acre shall be achieved by considering the gross residential density of the entire community of Wedderburn.

Policy 3.3 A variety of housing types should be distributed throughout the Plan Area such as single and semi-detached housing, duplexes, street town housing or row housing, and comprehensively designed town housing and multi-unit housing.

Policy 3.4 Multi-unit housing should be oriented to the street where possible and should be located on key transportation routes, near transit, parks and commercial and personal service uses.

Policy 3.5 Higher density housing forms should be located near the Neighbourhood Hub to promote activity and walkability in the area.

Policy 3.6 Residential blocks are encouraged to include a variety of housing types.

Policy 3.7 Garages must be located at the rear of homes on laned lots, except where houses abut the southern boundary of the Plan Area as grades prevent these lots from having garages accessed from the lane (Refer to **Figure 5**).

Policy 3.8 Lots identified with a hatch labelled “Font Driveway Housing Permitted”, as show in **Figure 5**, is the only area where front driveway housing will be permitted on a lane.

Neighbourhood Hub

Policy 3.9 Commercial uses in the Neighbourhood Hub should be neighbourhood-scale commercial, retail and/or personal service uses.

Policy 3.10 Residential uses within the Neighbourhood Hub should be primarily attached dwellings or multi-unit buildings oriented to an internal or external street.

Policy 3.11 Commercial sites must be designed to be pedestrian-accessible from the street, adjacent to multi-use pathways, and multi-residential development.

Policy 3.12 Mixed use buildings are encouraged in the Neighbourhood Hub.

3.4 Parks & Open Space

3.4.1 OVERVIEW

An integrated network of parks and open spaces have been established in Wedderburn East. The design goal of the open space network is to ensure continuity and connectivity with Wedderburn West, the established communities to the south and to the planned community of Ridgemont east of 32 Street. As such, new parks in Wedderburn East are purposefully designed to enable a range of passive and active recreation opportunities and experiences – complementary to, and connected to, the established and planned network around the Plan Area. The open space network is illustrated in **Figure 7** on the following page.

Consistent with direction in the MDP (section 7.3.3), the open space network integrates water management systems into the parks and neighbourhood development. A drainage course is integrated into the three primary park spaces including the Central Feature Park, East Feature Park and the Pond Park which contains the stormwater retention pond to create an enhanced amenity for new and nearby residents.

As required by the Town's MDP and the Alberta Municipal Government Act, Municipal Reserves (MR) account for 10% of the gross developable area of the land owned by Anthem Properties. The MR dedication requirement for Anthem is based on Wedderburn in its entirety. This includes Anthem's land in the Wedderburn East NASP area and in Wedderburn West which is currently under development between Northridge Drive and the western NASP boundary. A total of 6.63 ha/16.38 ac of public open space will be dedicated in the Wedderburn East NASP area to meet the overall MR dedication requirements for Wedderburn in its entirety. For a detailed breakdown of the MR dedication across Wedderburn, refer to Table 2: NASP Statistics in section 3.3.2.

3.4.2 PARK TYPES

A variety of parks and open spaces are provided throughout Wedderburn. In general, the parks and open spaces in Wedderburn East are designed with the following characteristics in mind:

- All-season use and enjoyment;
- Flexibility to enable a variety of programmed and unprogrammed activities;
- Connected through comprehensive multi-use pathway system in line with safe routes;
- Amenities for all ages and abilities – integrated amenities rather than segregated.

The parks in the Plan Area are clustered and centrally located connected by pathways and sidewalks offering programmable spaces and naturalized areas including a natural drainage course that fits seamlessly into the park spaces while facilitating stormwater management in the community. Overall, each park offers unique programming opportunities to promote health and wellbeing, and contain gathering spaces, both small and large to facilitate social connections.

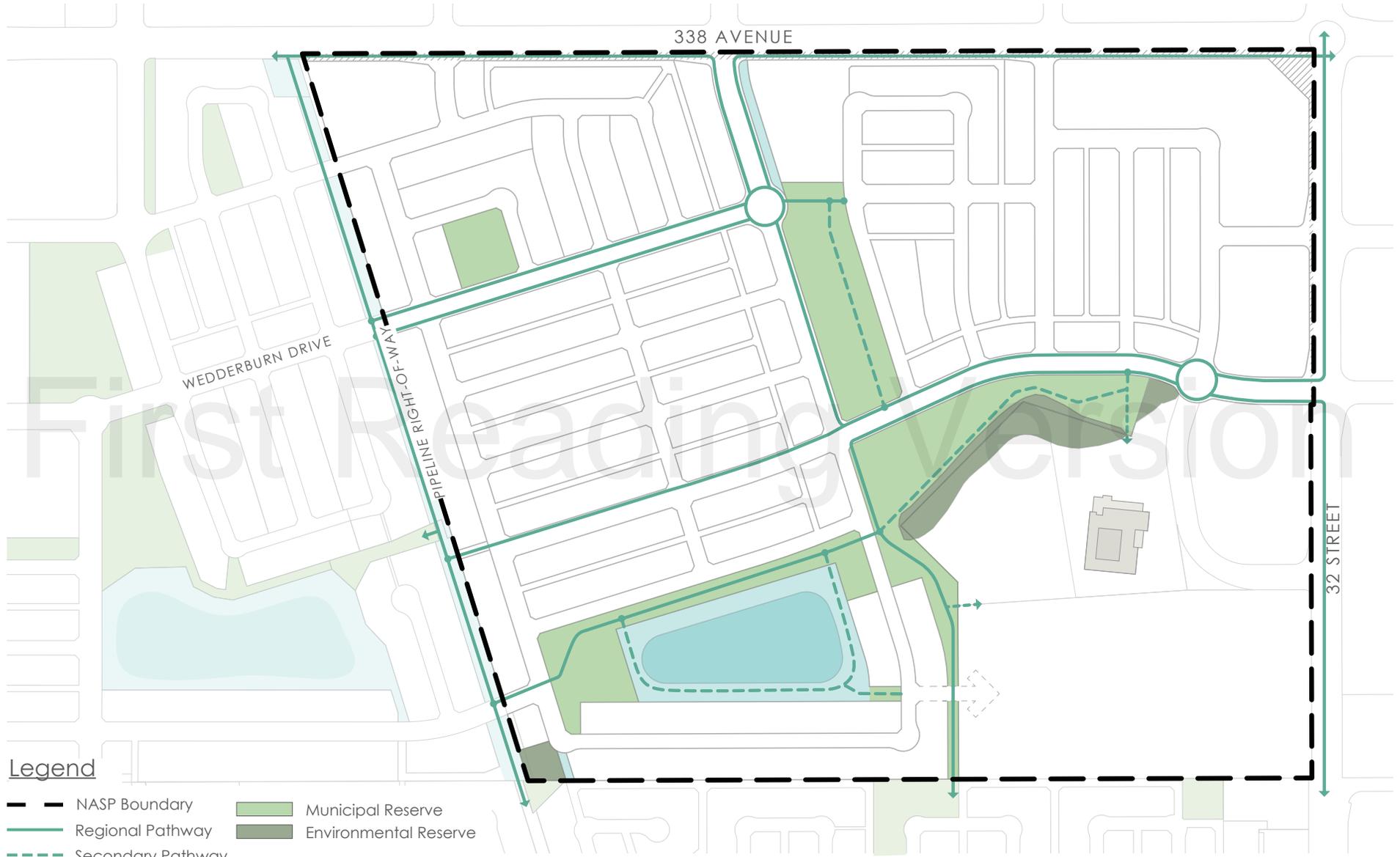
TABLE 5: PARKS & OPEN SPACE CLASSIFICATION

Park Names (MR Credit in Plan Area)	Classification	ha	ac
Central Feature Park	Neighbourhood Park	1.85	4.57
Neighbourhood Green	Neighbourhood Park	0.49	1.21
East Feature Park	Neighbourhood Park / Natural Area	2.55	6.30
Pond Park	Neighbourhood Park	1.64	4.05
Connectors	Linear Park	0.10	0.25
Total MR		6.63	16.38

Note: The Park Names identified in Table 4 and described on the following pages represent their functional names. At the more detailed design stage, park names will be given to these areas based on the Town's naming policy/conventions.



FIGURE 7. OPEN SPACE NETWORK



Legend

-  NASP Boundary
-  Regional Pathway
-  Secondary Pathway
-  Municipal Reserve
-  Environmental Reserve

Note: The location of secondary pathways within Municipal Reserves is conceptual, and the standard should be determined at detailed design of park spaces. The precise location and connection points to the regional pathways within road right-of-ways will be determined during detailed design of the park spaces.





3.4.3 Central Feature Park

The Central Feature Park is 1.85 ha/4.57 ac and is considered a Neighbourhood Park. The park fronts a primary collector which is one of the main entries to the community. The north end of the park is the terminus the primary east-west roadway, and this terminus functions as the north entrance to the park. A natural drainage corridor runs north-south through the Central Park becoming a natural feature within the park. Pathways are also incorporated into the park ensuring easy access for active modes throughout the park and to destinations in all directions.

The Central Park enables large community gatherings and is a hub for programmable recreation activities. An active recreation zone and gathering space is situated in the north end of the park and organized around a multi-use sport court. This area transitions to an open lawn space which is intended to be a flexible space for community events, active and passive recreation and seasonal activations to encourage use year-round. Undulations in the topography are proposed to encourage spontaneous activities throughout the year. These undulations function as a year-round play feature reminiscent of the foothills nearby with views to the west towards the Rocky Mountains. The south end of the park includes more flexible lawn space and seating while also functioning as the southern gateway to the park.

FIGURE 8. CENTRAL FEATURE PARK CONCEPT





3.4.4 Neighbourhood “Green”

A Neighbourhood Green is situated in the northwest portion of the Plan Area. It is approximately 0.49 ha/1.21 ac, and offers features like a play area for small children, seating, and an open green space for spontaneous activities, respite and relaxation.

FIGURE 9. NEIGHBOURHOOD GREEN CONCEPT



playground for small children

open green space for spontaneous play and activities

shade + seating





3.4.5 East Feature Park

This Neighbourhood Park is approximately 2.45 ha/6.05 ac and includes a play ground and picnic areas in a shaded natural setting. This park space also offers opportunities for activities that complement small and medium-sized group gatherings such as picnic tables, fire pits/bbq amenities and areas for lawn games, horseshoes, etc.

The primary entrance to the park is in the north-west portion of the park at the intersection of the two primary gateway streets to the community. This highly visible location will become a prominent entrance to the park using design elements that express the theme and character of Wedderburn. Pathway connections connect the Central Park to the north, Crystal Shores to the south and the Campus lands and Neighbourhood Hub area to the east.

A north-south linear connector is situated between the Community Campus lands and the residential neighbourhood of Wedderburn. This connector includes a regional pathway for pedestrians, cyclists and other active modes linking new development to the established park in Crystal Shores.

FIGURE 10. EAST FEATURE PARK CONCEPT





3.4.6 Environmental Reserve - Natural Area

An Environmental Reserve (ER) is incorporated into the East Feature Park along the boundary of the Campus lands. It includes an existing tree/shrub stand and wetland area on the property line. Another ER parcel is in the southwest corner of the Plan Area which accommodates the realigned pre-development overland drainage course that connects to a stormwater pipe south of the Plan Area. This ER is integrated into the adjacent MR in Crystal Shores to provide a more expansive park space with different functions. These spaces provide habitat for local birds, pollinators, and wildlife, and provides a naturalized amenity for the community extending from 338 Avenue in the north to the southwest corner of Wedderburn East.

Linear Connector



FIGURE 11. LINEAR CONNECTOR (PART OF EAST FEATURE PARK CONCEPT)





3.4.7 Pond Park

The Pond Park is another Neighbourhood Park in the southwest portion of the community – the lowest point in the Plan Area and therefore conducive to stormwater retention features. This park has a distinct identity and is comprised of a 1.64 ha/4.05 ac Municipal Reserve (MR) and a Public Utility Lot (PUL). These areas combined create a 4.69 ha/11.59 ac public amenity for residents of Wedderburn and nearby communities. The overland drainage course that runs through Central Park to the north re-emerges in this park and continues to function as a stormwater management feature and natural amenity.

While technically distinct parcels more fully defined at the subdivision stage, the MR and PUL will function as a public amenity integrating amenities to support passive recreation around, and adjacent to, the stormwater retention pond. A sheltered seating area/gazebo will be a focal point in the western portion of the park in an area with high visibility. A looped pathway system around the pond and through the park enables active lifestyles offering opportunities for walking and cycling. The looped pathway system will include rest areas and look-out points to enjoy the wildlife near the pond. This amenity is intended to provide residents with a direct connection to nature and opportunities for respite and quiet reflection, while encouraging physical activity.

An overland drainage corridor serves as another natural feature to add variation

FIGURE 12. POND PARK CONCEPT



in topography and provide natural vegetation throughout the park reminiscent of the pre-development condition of the drainage corridor.

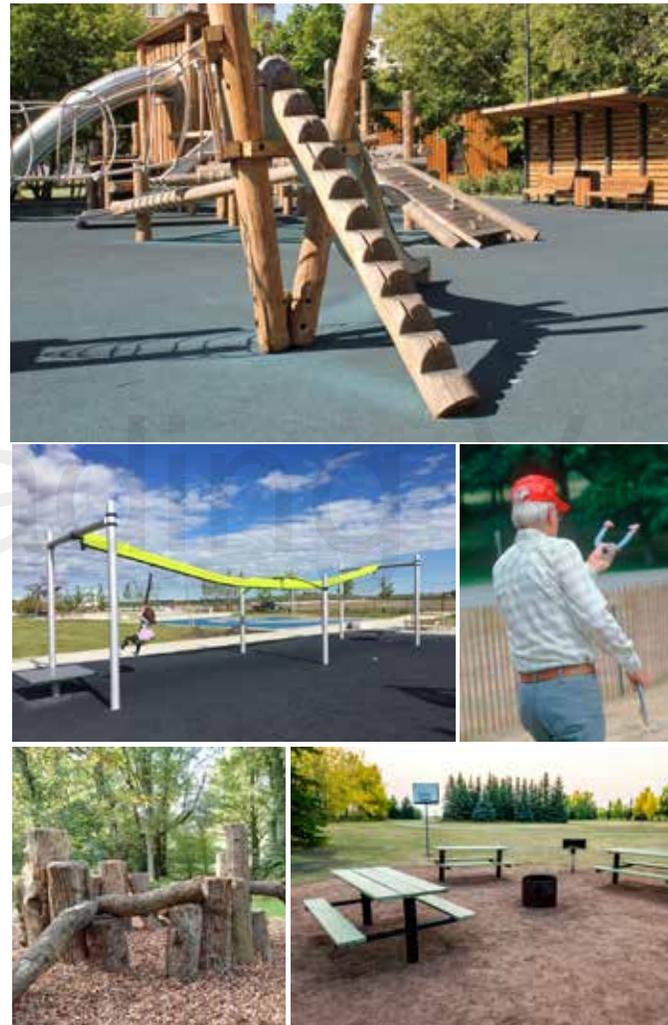


3.4.8 Park Programming Reference Imagery

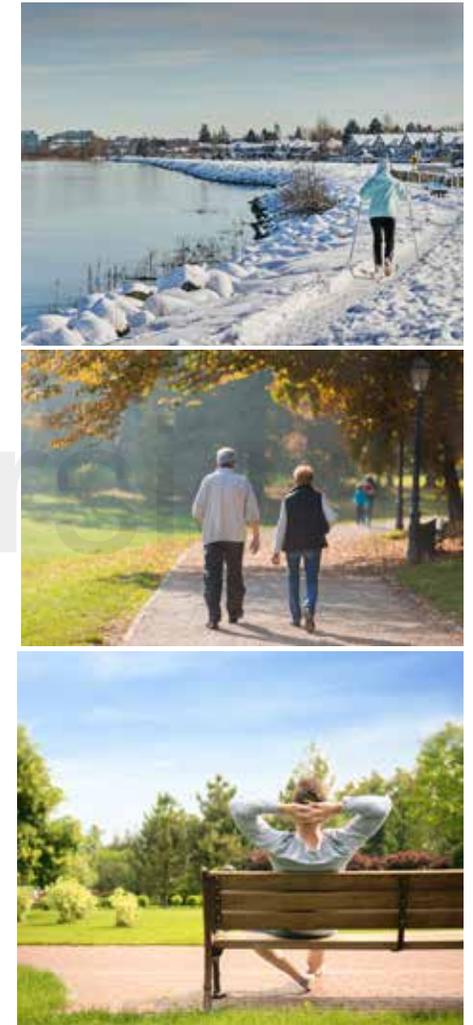
Central Park



East Feature Park



Storm Pond Park



3.4.9 PARKS & OPEN SPACE POLICIES

Policy 3.13 Wedderburn East shall include a variety of multi-functional open spaces that allow for active and passive recreation.

Policy 3.14 Parks and opens spaces should be designed to promote year-round and day-long use – enabling a variety of activities and active modes of transportation during all seasons.

Policy 3.15 Pathways and public spaces should be designed for active modes of transportation throughout all seasons.

Policy 3.16 Parks should be incorporated into an overall open space system through established pathways and pedestrian connections.

Policy 3.17 The storm pond should be integrated into the overall parks and open space network through pathway connections and overall design intent.

Policy 3.18 Design elements in the park must be consistent with the existing theme and character of Wedderburn West to ensure cohesive community identity and strong sense of place.

Policy 3.19 At more detailed design stages of development, naming of the parks will conform to the Town's Naming of Roadways, Parks, Neighbourhoods and Facilities Policy.

Policy 3.20 The principles of Crime Prevention Through Environmental Design (CPTED) should be applied at the detailed design stage.

Policy 3.21 Consideration should be given to the maintenance and durability of materials at the detailed stage of design.

Policy 3.22 The *Town of Okotoks Infrastructure Design and Construction Specifications* and the *Town of Okotoks Landscape Design and Construction Specifications* will be applied to detailed design of park spaces which will occur at the subdivision stage of development. The policies and conceptual designs in this NASP will be considered at that stage of the development process.

Policy 3.23 Pathway connection(s) from the Municipal Reserve to the Community Campus Site should be provided; however, the location(s) of pathway connections will be at the discretion of the School Authority and any extensions of pathways onto their land will be the responsibility of the School Authority.

Policy 3.24 Low maintenance, low-water, drought tolerant and non-invasive plant species should be incorporated into planting plans for the design of park spaces.

Policy 3.25 Stormwater re-use opportunities will be explored at the detailed design stage to address the Town's desire to reduce dependence on potable water for municipal site irrigation. Opportunities for stormwater re-use may include irrigation of some park spaces and the Community Campus site.





3.5 Mobility

3.5.1 EXTERNAL ROAD NETWORK

The Plan Area is bounded by two arterial roads – 338 Avenue to the north and 32 Street East to the east. This ensures Wedderburn East is well connected to the regional road network. Refer to **Figure 13: External Road Network**.

338 Avenue East

338 Avenue E. is currently a two-lane rural collector standard; however, a Functional Transportation Plan was recently completed by the Town which identifies the long-range plan for upgrading this road to an arterial standard (46m right of way adjacent to Wedderburn East) to accommodate 4 to 6 lanes of traffic and a multi-use pathway. The additional right-of-way required to realize this plan requires the Town to purchase a portion of the Wedderburn East lands along the northern boundary of the Plan Area. While this right-of-way is addressed in the NASP, any changes to the road allowance will not require an amendment to this Plan.

32 Street East

32 Street E. forms the eastern boundary of the Plan Area. This road is currently a two-lane collector road with a 33m right-of-way; however, upgrades are anticipated which would transform this road into a 4-lane divided arterial road with an expected right-of-way of approximately 36.6m. This would necessitate a road widening, however, details on the potential expansion were not available at the time this NASP was prepared.

3.5.2 INTERNAL ROAD NETWORK

A hierarchy of streets form the internal road network of Wedderburn East, which is illustrated in **Figure 14: Internal Road Network**. The streets are arranged in a grid-like pattern and align with the Town's notion of complete streets to facilitate all modes of transportation throughout the community. The hierarchy of streets is consistent with, and an extension of, the street network established in Wedderburn West.



FIGURE 13. EXTERNAL ROAD NETWORK

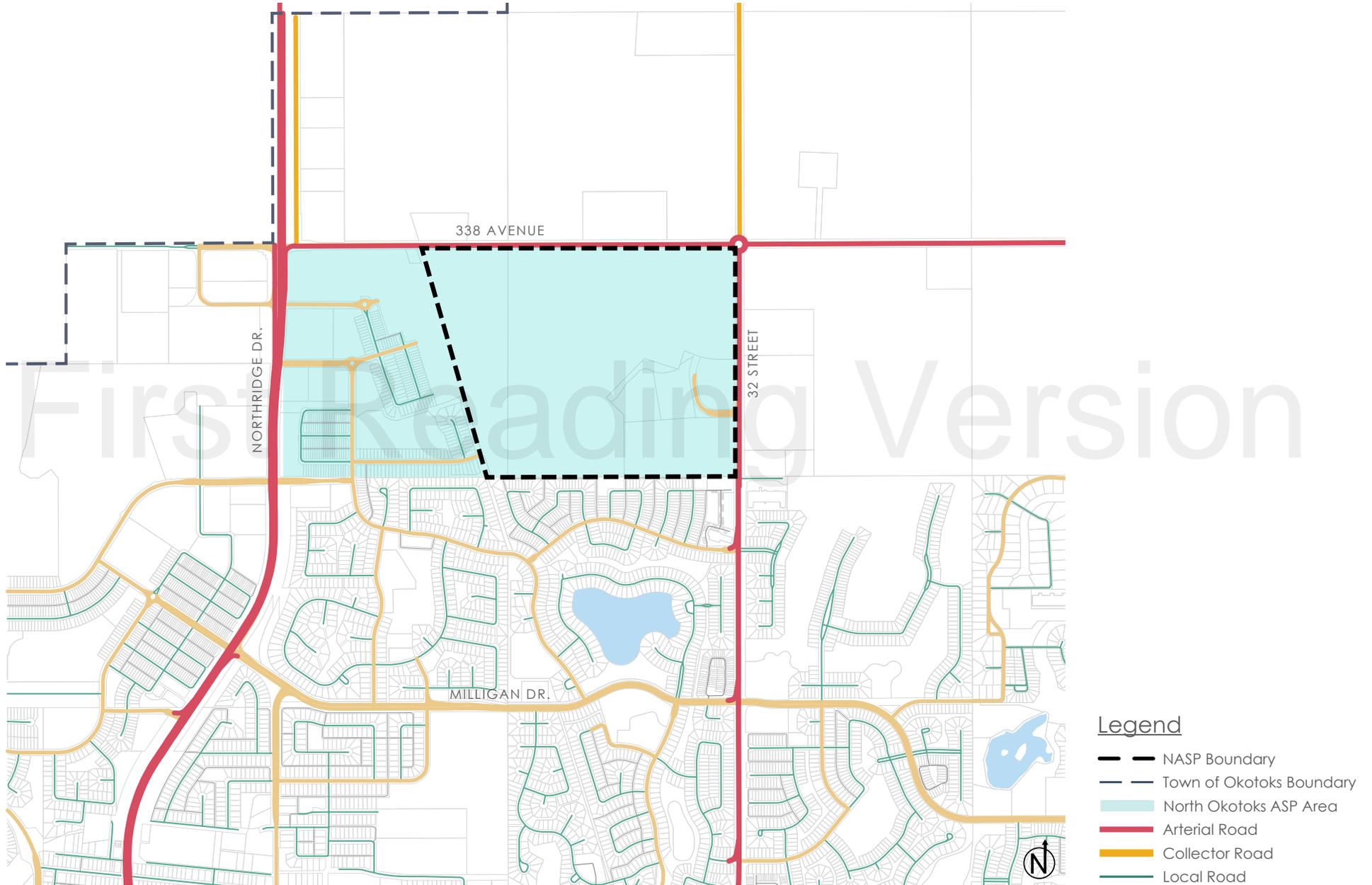


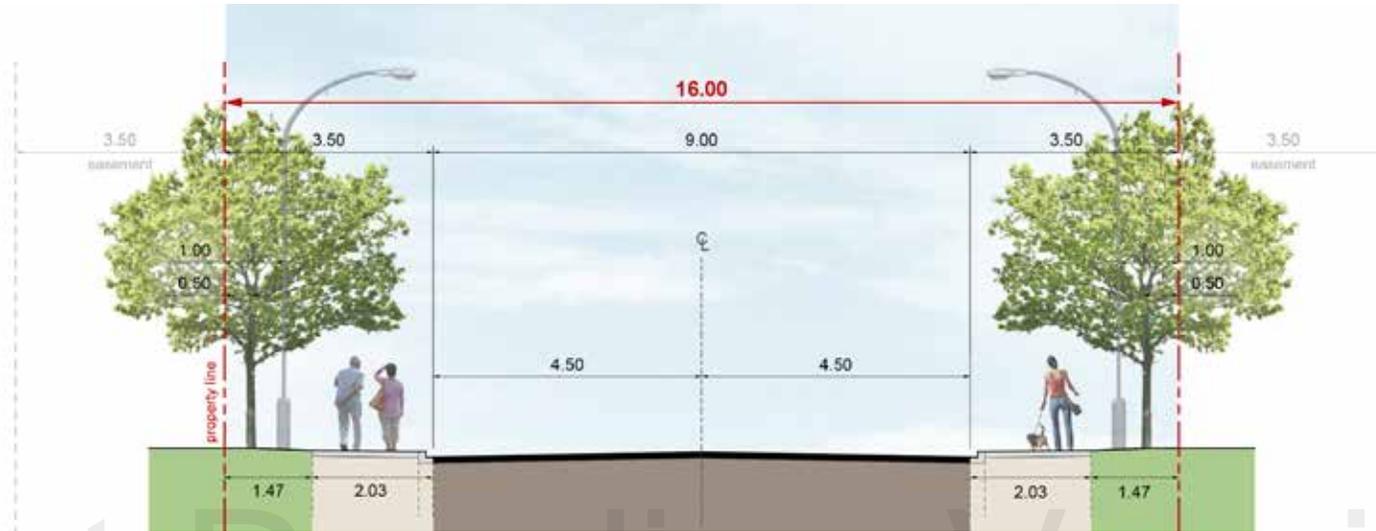


FIGURE 14. INTERNAL ROAD NETWORK



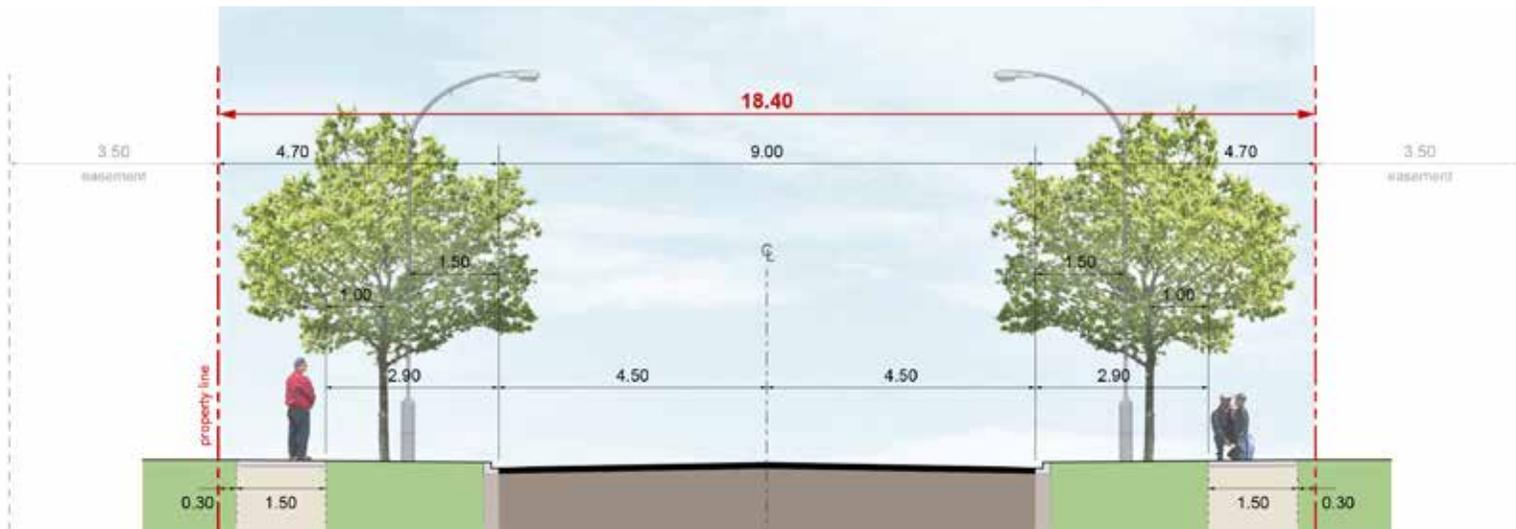


16.0m Standard Residential



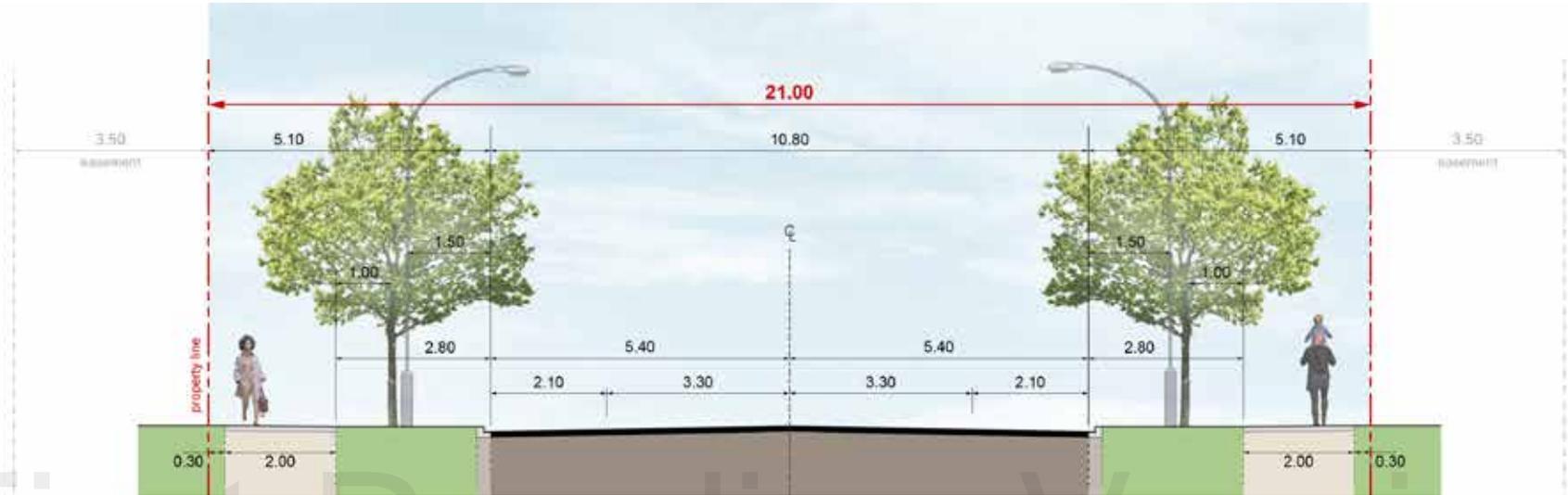
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18.4m Residential with Separate Sidewalks



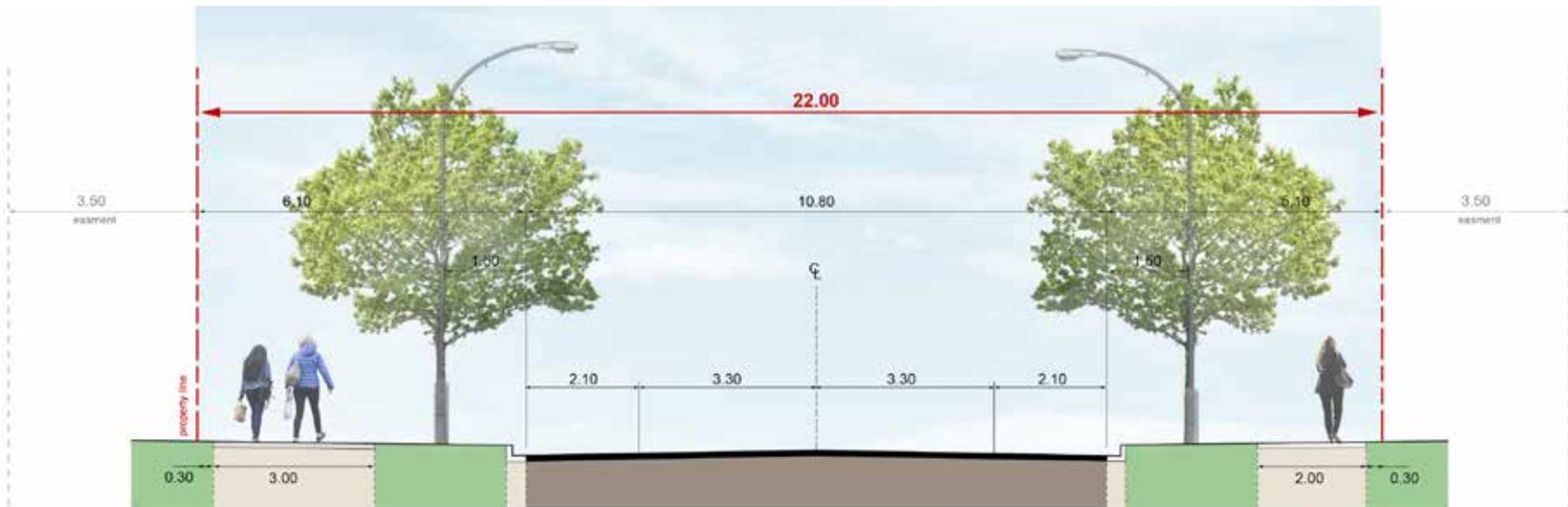


21.0m Standard Collector



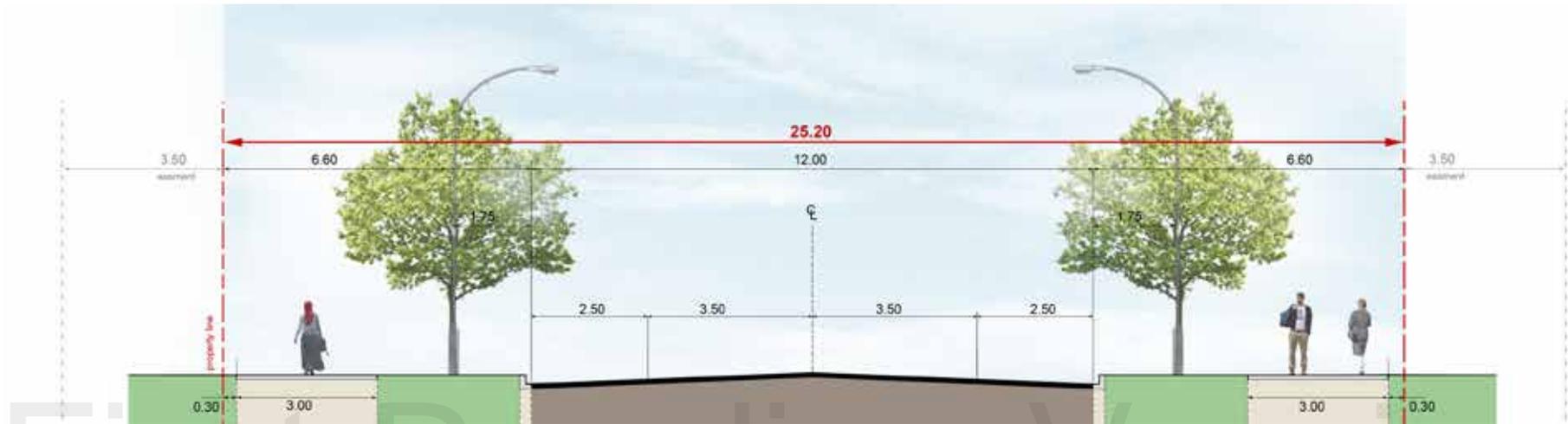
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22.0m Residential with Regional Pathway (one side)

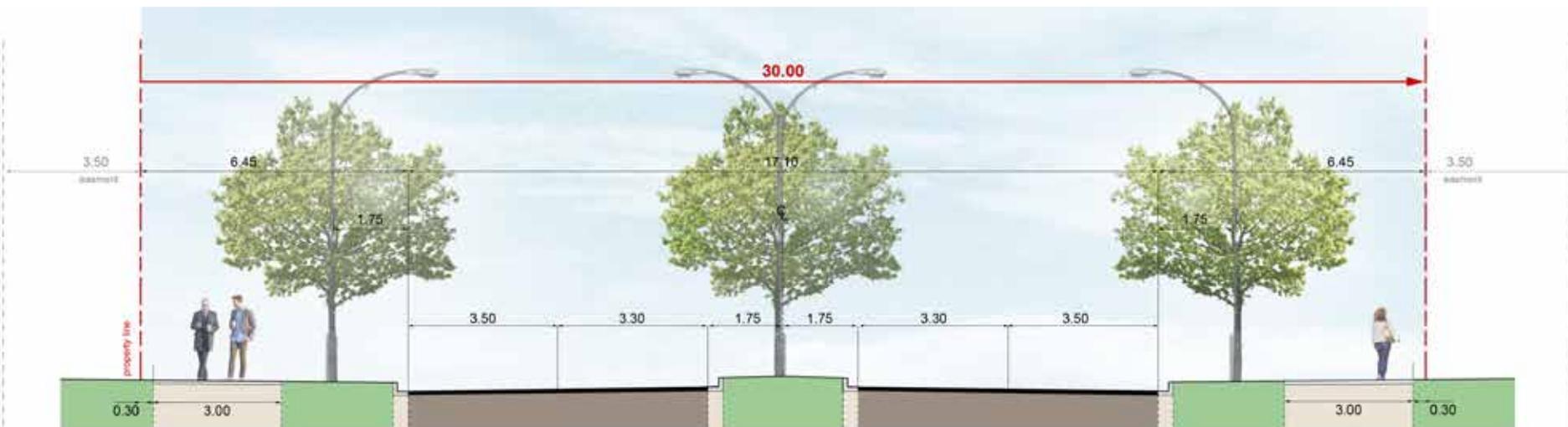




25.2m Primary Collector
with Regional Pathways



30.0m Collector (Community Gateways)
with Median + Regional Pathways





3.5.3 ACTIVE MODES & SAFE ROUTES

Wedderburn East has been designed to accommodate all modes of transportation in a safe and effective manner. The Town's Active Transportation Strategy encourages Safe Routes which "allow children to safely use active transportation to get to major facilities and to get to and from school daily". Wedderburn achieves this by providing a network of regional pathways, local pathways and sidewalks throughout the community. This network connects residential areas to schools, parks and commercial destination within the community and beyond. **Figure 15** illustrates the network for active modes, transit and highlights the safe routes to the Community Campus Site.

3.5.4 TRANSIT

The Town of Okotoks anticipates introducing a public transit system, as per the Local Transit Implementation Plan (2019). Wedderburn is expected to be serviced by local transit and the collector road system has been design to accommodate future transit based on the Town's current plans for local transit.

Figure 15 on the following page illustrates the potential transit route through the community connecting to the major arterial streets (338 Avenue and 32 Street).

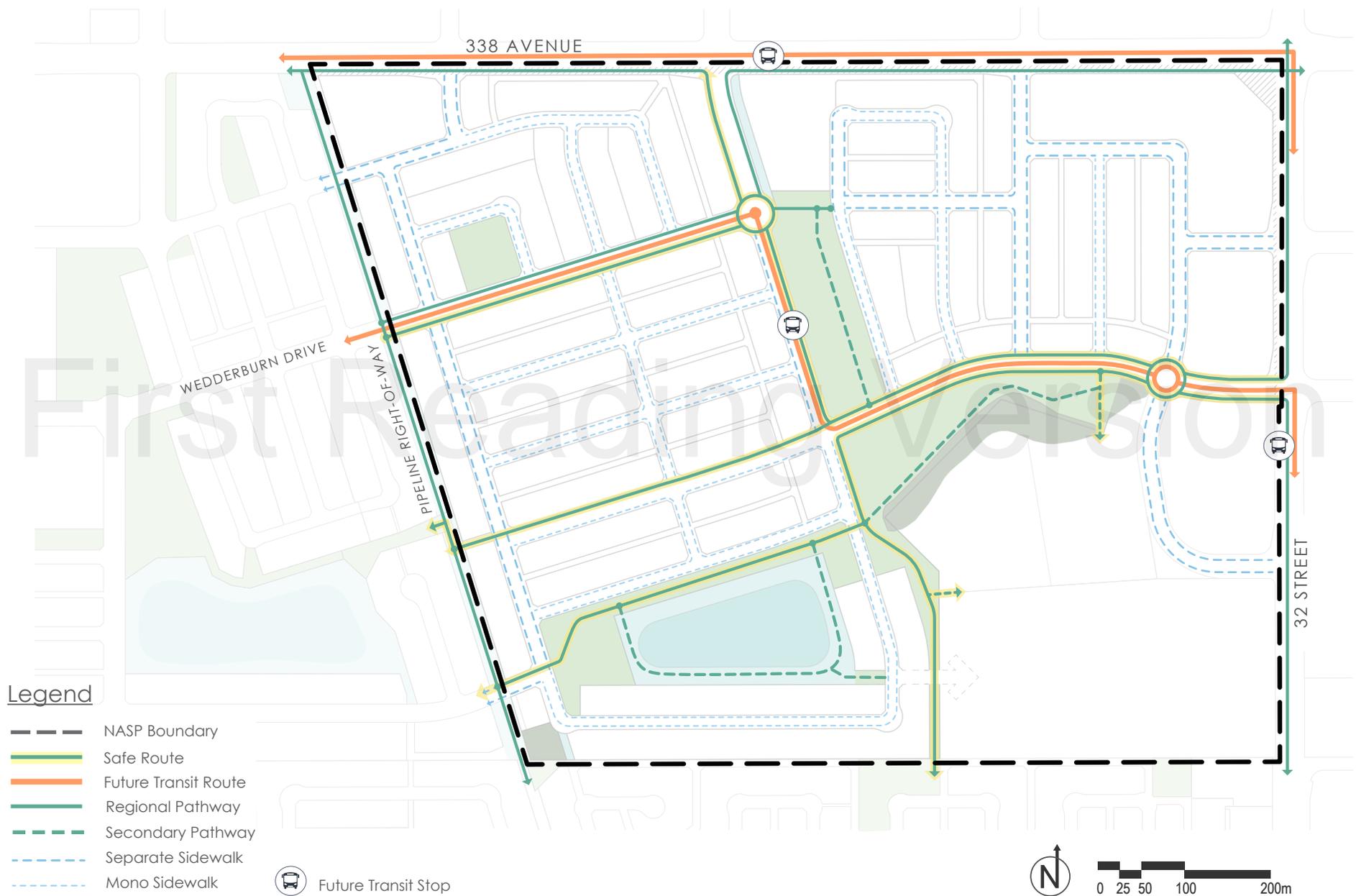
3.5.5 TRANSPORTATION IMPACT ASSESSMENT

A Transportation Impact Assessment (TIA) was completed as part of the NASP process. The TIA involved assessing the impacts of proposed development on the surrounding transportation network and internal street network and identifying potential upgrades triggered by new development. This section provides an overview of the key outcomes of the TIA. More detailed information on the assessment can be found in the TIA report which was submitted under separate cover.





FIGURE 15. ACTIVE MODES NETWORK, SAFE ROUTES & FUTURE TRANSIT





3.5.6 MOBILITY POLICIES

External Road Network

Policy 3.26 At the time of subdivision, the ultimate right-of-way for the widening of 338 Avenue E. will align with the 338 Avenue Functional Transportation Study completed by the Town. The right-of-way width will be no greater than 46.0 metres distributed evenly to the north and south of the existing right-of-way. Municipal Reserve dedication calculations may be re-visited once road widening is confirmed.

Policy 3.27 At the time of subdivision, road design for Wedderburn East will align with the ultimate design of 32 Street, which was underway at the time this NASP was prepared.

Policy 3.28 The developer may be required to provide additional right-of-way to accommodate the ultimate design of 32 Street. Municipal Reserve dedication calculations may be re-visited once road widening is confirmed.

Policy 3.29 Specific areas to be purchased by the Town of Okotoks to accommodate the ultimate design of 338 Avenue and 32 Street will be negotiated at the time of subdivision. Amendments to this Plan will not be required for minor variances to the NASP figures, text and statistics that result from the ultimate road design for 338 Ave. and 32 Street.

Internal Road Network

Policy 3.30 The internal road layout should conform to the network depicted in **Figure 14: Internal Road Network**. Minor modifications may be made to internal roads without prompting an amendment to this NASP if connectivity for vehicles and active modes of transportation remain contiguous throughout the Plan Area.

Policy 3.31 Design and construction of the internal road network shall adhere to the Town's Infrastructure Design and Construction Specifications, and the Landscape Design and Construction Specifications.

Active Transportation

Policy 3.32 All streets will be designed to accommodate a sidewalk and/or pathway system to ensure contiguous connections for residents to parks, open spaces, the Neighbourhood Hub commercial area and to the surrounding established communities and gateway commercial uses on Northridge Drive.

Policy 3.33 **Figure 15: Active Modes Network and Future Transit** identifies a conceptual layout of the active modes network. Modifications to the pathway classifications may occur at the subdivision and/or development permit stage of development without requiring an amendment to the NASP.

Policy 3.34 All pathways will be constructed according to the Town of Okotoks Infrastructure Design and Construction Specifications, and the Town of Okotoks Landscape and Construction Design and Construction Specifications.

Policy 3.35 Active modes infrastructure should be provided at key destinations within the Plan Area (including but not limited to the feature parks within the community and the Neighbourhood Hub commercial area.

Transit

Policy 3.36 **Figure 15: Active Modes Network and Future Transit** shows a potential future transit route on the primary collector roads in Wedderburn. This route can be modified without an amendment to the NASP to accommodate the most appropriate route to serve the needs of residents.

Policy 3.37 Any future transit route should be accommodated on Collector roads.



3.6 Community Design

The community design of Wedderburn East is inspired by the foothills landscape and homesteading history of the land. The natural topography has influenced the orientation of streets and blocks, and the theme of the community evolved from the land's farming history, mountain views and prairie scape.

The aim is for Wedderburn to be a community where residents know their neighbours and appreciate a small-town lifestyle. The natural and built environment will live in balance allowing residents to connect with nature and feel a sense of calm no matter where they are in the community.

3.6.1 COMMUNITY CHARACTER & IDENTITY

The western portion of the greater Wedderburn community is already under development, which sets the stage for community character and identity in Wedderburn East. The design details incorporated into the open spaces and architectural design of the homes in the western



portion of Wedderburn that is already under development will be applied in future phases in the Plan Area. The cohesive design of open spaces, wayfinding, and public amenities will continue to instill the unique sense of place already established in Wedderburn.

The land use concept and layout of Wedderburn East is designed to integrate with existing development to the south and west and enable connections to future development north of 338 Avenue and east of 32 Street East. The design of streets and development blocks is intentional so that shopping, recreation, and relaxation is within walking distance of every home, and public transit and active modes of transportation are prioritized through a well-connected pathway network and street layout.

A complete community is achieved by enabling a variety of housing types to be distributed throughout the neighbourhood with the higher density development situated near commercial nodes and key transportation routes. Parks and open space are a central organizing principle in the community layout to facilitate access to nature and a variety of active and passive recreation opportunities.

Three features unique to Wedderburn East include: the Neighbourhood Hub, integrated public parks and the Community Campus Site.

Located in the northeast corner of the community, the **Neighbourhood Hub** is a local commercial area surrounded by higher density residential development. The Neighbourhood Hub is characterized by pedestrian-scaled commercial uses with active frontage, along with diverse housing types contributing to a an active streetscape and hub within easy walking distance of most residences in the Plan Area. The Neighbourhood Hub is well-connected to the rest of Wedderburn, the Community Campus Site and to current and future neighbourhoods through sidewalks and multi-use pathways. Also, the hub is strategically located to integrate with future commercial development in Ridgemont in the east side of 32 Street so the Wedderburn



Neighbourhood Hub will become part of a larger commercial/mixed use hub across communities.

The **integrated public parks** are another key community design feature. Centrally located and connected by regional pathways, this nature and recreation destination will be an important gathering place for residents of Wedderburn and other nearby communities. The Central Park (East Feature Park) will enable year-round outdoor activities and functions as a central gathering point and cross-roads of local pathways and sidewalks. The other key parks are connected to this central area and offer different experiences including areas for respite within naturalized areas, children's play, walking paths and smaller family and community gathering spaces.

The third unique feature of Wedderburn East is the **Community Campus Lands** which is intended to be an educational campus and recreation zone on land owned by the Town. Situated in the southeast portion of the Plan Area, the Campus Lands include Meadow Ridge school, play fields and a small natural area (Environmental Reserve) in the northwest portion of the site bordering the new East Feature Park. These lands are well connected to the rest of Wedderburn and surrounding communities via Safe Routes that promote walking and cycling to and from school through a safe, efficient, and accessible pathway network. The Campus site is also expected to include a new regional pickleball facility just east of the existing school and a potential high school to the south; however, this is yet to be confirmed.

3.6.2 SUSTAINABILITY & INNOVATIVE DESIGN

Urban design involves not only designing for today but looks to the future through innovative development strategies. Sustainable design and development practices minimize the impacts of development while meeting the goals of the community and Okotoks.

- Low impact design should be incorporated throughout the public realm, including but not limited to bioretention areas and bioswales, rain gardens, pervious pavement, and absorbent landscaping.
- Consideration should be given to green building strategies at the detailed design stage such as solar panels on residences or the use of grey-water systems in larger-scale commercial and multi-family developments.
- Landscaping should incorporate native trees and plants to reduce maintenance and watering requirements and increase performance and lifecycle of vegetation.





3.6.3 DESIGNING GREAT NEIGHBOURHOODS

In accordance with the Town's Municipal Development Plan, section 2.1, this NASP must aim to achieve the following outcomes for "Designing Great Neighbourhoods":

- Neighbourhoods are compact and mixed use
- Neighbourhoods are inclusive
- Neighbourhood amenities and facilities support the social, cultural, and recreational needs of residents
- Neighbourhoods are connected
- Neighbourhoods embrace all seasons
- Neighbourhood health equity
- Neighbourhoods are innovative, flexible and adaptable

The following describes how the land use concept and community design for Wedderburn East will achieve these outcomes. is summarized in **Table 6** on the following page.



TABLE 6. DESIGNING GREAT NEIGHBOURHOODS OUTCOMES

Wedderburn Outcomes
<p>Neighbourhoods are compact and mixed use</p> <ul style="list-style-type: none"> • Wedderburn is designed in a compact grid pattern to maximize walkability and connections to other uses throughout the community and to adjacent neighbourhoods. • Residents of Wedderburn have access to a variety of uses including regional and local commercial uses, established and planned schools, and a network of public parks that enable a range of active and passive recreation use and social gathering spaces. • The pattern of development ensures all residents are within easy walking distance of parks and open space. • The plan includes a variety of housing types at various densities, which are connected to cohesive open space network.
<p>Neighbourhoods are inclusive</p> <ul style="list-style-type: none"> • A variety of low to medium density housing types ensures a mix of housing is available to a broad demographic. The range of housing options includes: single and semi-detached homes, row-housing, and low to mid-rise multi-family developments. • Residents will have access to safe and universally accessible pathway connections. • The public realm will be designed with safety, accessibility, and diversity in mind.
<p>Neighbourhood amenities and facilities support the social, cultural, and recreational needs of residents</p> <ul style="list-style-type: none"> • Wedderburn offers places to live, learn, play and shop. • The open space network will include spaces for everyone - spaces for residents to gather, recreate, and relax. It includes spaces for active group sports, spontaneous play for all ages and abilities, areas for large and small community/family gatherings, spaces to walk, run and cycle and spaces for individual respite.

Wedderburn Outcomes
<p>Neighbourhoods are connected</p> <ul style="list-style-type: none"> • Wedderburn has a network of complete streets to facilitate mobility options. • An extensive regional and local pathway system connects residents to public parks, local and regional commercial uses and to adjacent neighbourhoods. • Residents can access all uses within the community by any mode of transportation.
<p>Neighbourhoods embrace all seasons</p> <ul style="list-style-type: none"> • Parks are designed for all-season use and include flexible spaces for recreation programming and community gatherings throughout the year. • Pathways are designed for year-round use, i.e. sufficient width and clearance for snow clearing.
<p>Neighbourhood health equity</p> <ul style="list-style-type: none"> • Wedderburn promotes healthy lifestyles and community connections by providing a mix of uses, diverse housing types, high quality and connected open spaces, and an active transportation network.
<p>Neighbourhoods are innovative, flexible and adaptable</p> <ul style="list-style-type: none"> • The community is designed to evolve over time and adapt to changing market demands. • Significant laned housing enables accessory dwelling units to evolve over time. • The local commercial hub accommodates a variety of commercial, retail and personal service uses to respond to market demand and the changing needs of the community. • A variety of multi-residential development is anticipated throughout the community which can adapt to shifts in demographics and market demand as the community builds out.



3.6.4 DESIGN GUIDELINES

To ensure the community vision and character is achieved through multiple phases of development including cohesive community character with the developed area of Wedderburn, the following urban design guidelines have been established to guide development over the long-term.

Public Realm Design Guidelines

The public realm is a key component of Wedderburn contributing to the character and feel of the community. The public realm refers to anything between a building or fence, and the road. This includes sidewalks, pathways, street furniture, trees and plantings, park spaces, lighting, and other aspects visible in and from public spaces. The following guidelines are intended to facilitate the creation of a vibrant and human-scaled public realm and should be referred to during the detailed design stage of development.

- Main streets should be pedestrian scaled and include public realm features such as sidewalks, boulevard trees, landscaping, decorative lighting, enhanced paving patterns and hardscapes, uniquely designed street crossings, street furniture and bike racks for cyclists.
- Public realm design elements such as fencing, lighting, street furniture, and wayfinding components should have a consistent aesthetic throughout the community to help reinforce a unique sense of place.
- Landscaping should be used to enhance the interface between buildings and the public realm, where appropriate.

Residential Design Guidelines

Residential neighbourhoods make up the majority of Wedderburn, incorporating a variety of single and multi-family housing styles to support a range of lifestyle choices. The design of residential areas will help instill a unique sense of place in Wedderburn through

cohesive design elements. The following guidelines should guide new development and support a vibrant residential community.

- To facilitate community cohesion, residential development in Wedderburn East should reflect a similar style and character to established residential development in Wedderburn West.
- Residential areas should include a mix of housing types and densities to support local amenities, including commercial opportunities and public open spaces.
- Single-detached housing should be incorporated along the southern boundary of the Plan Area to match the scale and form of existing housing in Crystal Shores.
- A variety of architectural styles are encouraged to create varied streetscapes while maintaining a cohesive character.
- Contrary colours and contrasting exterior finishes are encouraged to help achieve variety and avoid monotonous street fronts.
- Minimum and maximum setbacks may be encouraged on street townhouses or row housing to create a strong connection to the street.





- To reduce the overall massing of front elevations, consider stepping back upper floors or providing a significant offset to the main floor.
- Architecture should vary across buildings, including a range of gable and roof styles, street-facing facades, and varying setbacks from property lines within bylaw limitations.
- The side elevations of buildings on corner lots must be detailed to convey the architectural style of the building and have the same visual impact as the front elevation.
- Rear elevations of homes backing onto open spaces, linear pathways or roadways will require architectural treatments including open gapes with detailing and window trim to match the style of the home.
- Rear elevations of homes on walk-out lots will require special consideration given their high visibility, and designs should avoid a towering three-storey appearance.
- For multi-unit housing developments, access to off-street parking and loading areas should be from a lane, where possible, to reduce potential vehicle-pedestrian interactions and encourage a pedestrian-scaled street interface.

- Multi-residential sites should be designed in accordance with the theme and character of lower density residential forms.
- Exterior landscaping should include incorporate native plants and vegetation.
- Main floor units within multi-residential developments should have an exterior front door with direct, at-grade access to a public sidewalk.
- Entrances to main floor units should clearly delineate the private and public realm with architectural and landscape features such as raised terraces, porches, decorative railings and landscape plantings.
- Front porches are strongly encouraged on all laneway homes to facilitate opportunities for social connection.
- Covered bicycle parking is strongly encouraged to be incorporated into the design of multi-residential sites.
- Lighter-coloured roofs are encouraged to help manage heat in the summer months.
- The design of the public realm should incorporate and locate features to facilitate social connections and informal gathering spaces.

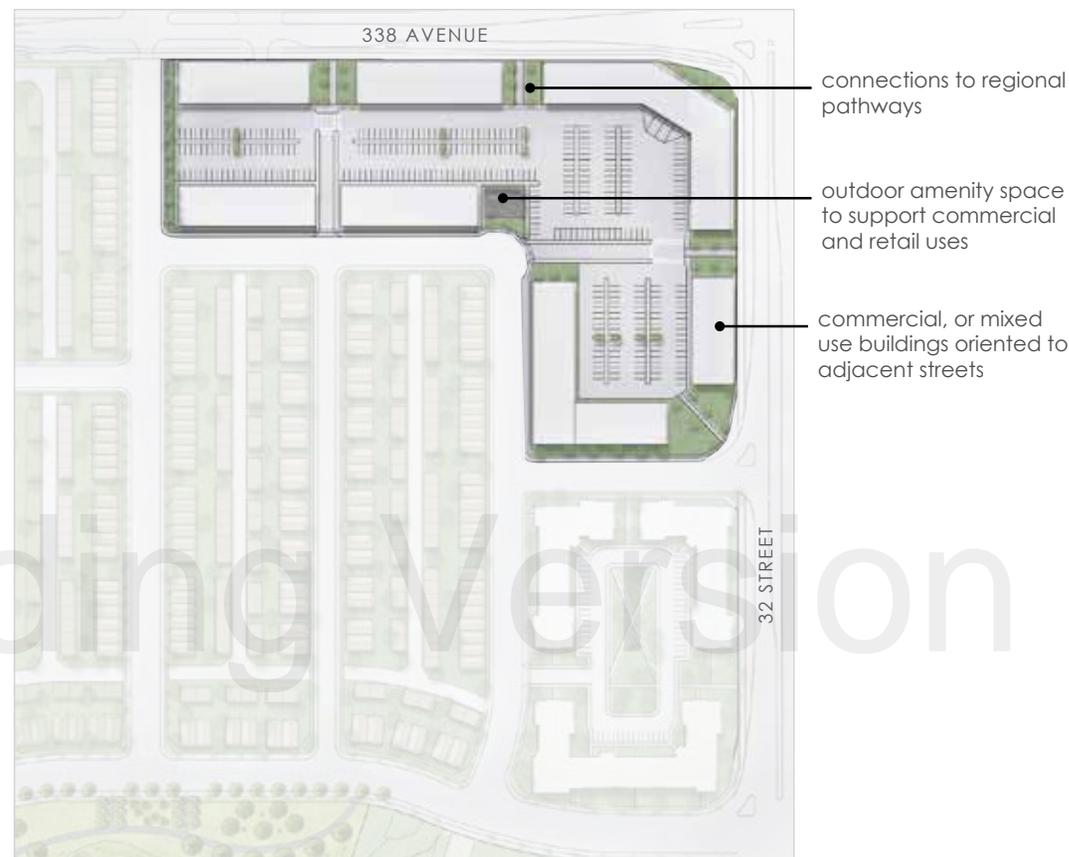




Commercial Design Guidelines

Commercial development in the Neighbourhood Hub of the Plan Area is pedestrian-scaled with clear and delineated non-vehicular connections between buildings. The local commercial areas should contain small-scale buildings with varying store fronts and entrances, rather than large-format “big box” commercial development. The following guidelines apply to commercial areas.

- Buildings should be oriented towards adjacent collector roads.
- Parking for commercial uses should be internal or to the rear of buildings, with appropriate screening and vegetation to provide visual interest from the street.
- Building facades should exhibit a high level of architectural detail on all sides, including entrances with varied setbacks, large windows into buildings, and viewpoints to further destinations in the community.
- Pedestrian connections should be provided through commercial sites to adjacent pathways to increase ease of access to and through the site, and to improve overall safety for pedestrians and cyclists.
- Outdoor public amenity spaces should be provided that integrate both public and private uses, such as public seating and private patios for restaurants.
- Landscaping should be used to enhance the interface between the building and the public realm, and to provide screening where appropriate.
- Blade signs are encouraged in areas with high pedestrian activity within the Neighbourhood Hub area. Signs should be oriented to the pedestrian, and will be considered



at the Development Permit stage for commercial development.

- Where appropriate, commercial development shall employ low impact development strategies to help manage on-site stormwater.



3.6.5 ARCHITECTURAL CONTROLS

Architectural Controls or Design Guidelines exist for Wedderburn West and will be applied to this Plan Area to ensure the overall development appears as a cohesive community with consistent high-quality design. These architectural controls will be revisited at the subdivision stage and will be used in conjunction with the design guidelines outlined in the this NASP. While the NASP design guidelines address community character and identity at a high-level, the architectural controls will provide home builders with more direction on architectural detailing that aligns with the theme of the community. Architectural Controls will encourage variation to avoid monotonous cookie-cutter development, while ensuring a consistent vision throughout the entire community of Wedderburn. Several architectural styles will be represented in Wedderburn consistent with the overall theme and character of the community.

Sample Architectural Style (Arts & Crafts)



Identifying Features:

- 10:12 to 12:12 pitched roofs
- Predominately gable rooflines
- Multiple types of gable treatment
- Masonry

3.6.7 URBAN DESIGN POLICIES

Policy 3.38 Buildings within the Neighbourhood Hub should be oriented towards surrounding roads, with parking included internally to the site and screened with landscaping where appropriate.

Policy 3.39 Public design elements such as street furniture, lighting, signage, and fencing should be consistent with the overall design aesthetic of Wedderburn.

Policy 3.40 Signage and wayfinding should be considered during the detailed design stage to reinforce the unique character of Wedderburn and help residents and visitors navigate the neighbourhood.

Policy 3.41 Safe and efficient pedestrian connections should be provided throughout the Neighbourhood Hub, and multi-family developments throughout the community.

Policy 3.42 The Neighbourhood Hub should include a mixture of building sizes and orientations to facilitate a diversity of uses and allow for flexibility over time.

Policy 3.43 Low-Impact-Development strategies, such as bioretention areas and rain gardens, should be incorporated as part of public realm stormwater management, where appropriate.

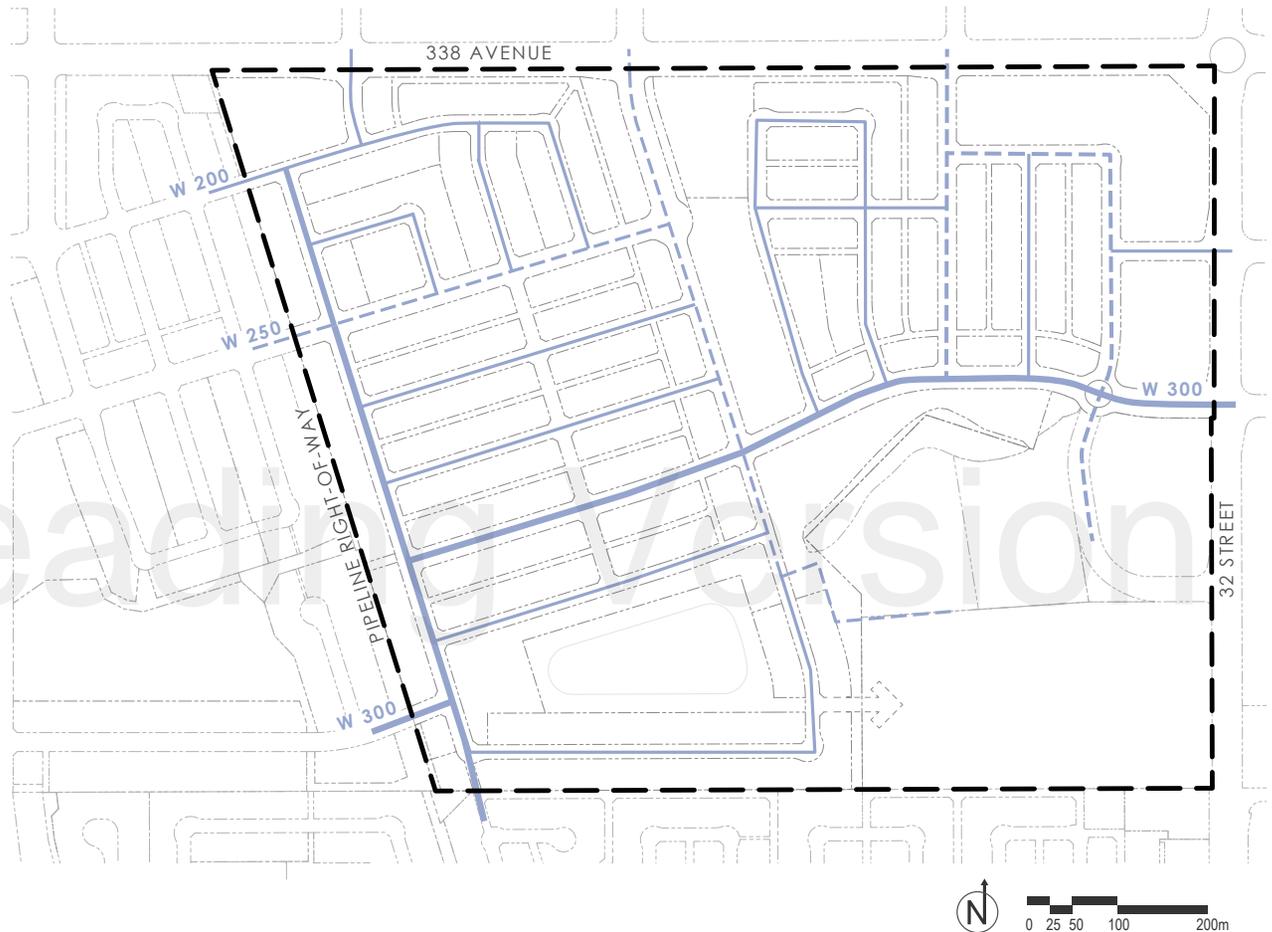
3.7 Servicing

Servicing studies addressing water, sanitary, stormwater and shallow utility servicing were completed with the preparation of this NASP including a Staged Master Drainage Plan. An overview of the overall servicing strategy is described in this section, and more details can be found in the servicing reports submitted under separate cover.

3.7.1 WATER SERVICING

Water Servicing for Wedderburn East will be provided by connecting to existing water mains previously installed in the existing Wedderburn development to the west, and extending the services through the Wedderburn East Plan area. Multiple water connections to the existing water infrastructure to the west will provide the required looping within Wedderburn East in the 4N pressure zone. As part of the Wedderburn East development, it is proposed the Town's Community Campus site will be connected to the 4N pressure zone and the connection to the existing 4BN pressure zone will be abandoned. If connections to lower pressure zones are required, pressure reducing valves (PRVs) will need to be installed.

FIGURE 16. WATER SERVICING



Legend

- NASP Boundary
- 300 mm
- - - 250 mm
- 200 mm



3.7.2 SANITARY SERVICING

Sanitary servicing for the Plan Area will be directed to the existing 300mm sanitary stub that is located at the south-west corner of the Wedderburn East plan boundary. This stub was identified by the Town in the 2020 Update Memo to the 2016 Sanitary Servicing Master Plan to be the sanitary sewer connection point for the Wedderburn East Neighbourhood Area Structure Plan area and this pipe has capacity to service this area. The 2024 Update Memo to the Sanitary Servicing Master Plan confirms this tie-in location for the Wedderburn East development and that adequate capacity is available. The sanitary mains through Wedderburn East will be sized to accommodate flows for approximately half of the quarter section north of the existing Wedderburn development (SW-4-21-29-W4) in accordance with the sanitary servicing strategy in the Sanitary Master Plan and current update memo.

FIGURE 17. SANITARY SERVICING



Legend

-  NASP Boundary
-  300 mm
-  250 mm
-  200 mm
-  Sanitary Catchments
-  Sanitary Catchment Boundary



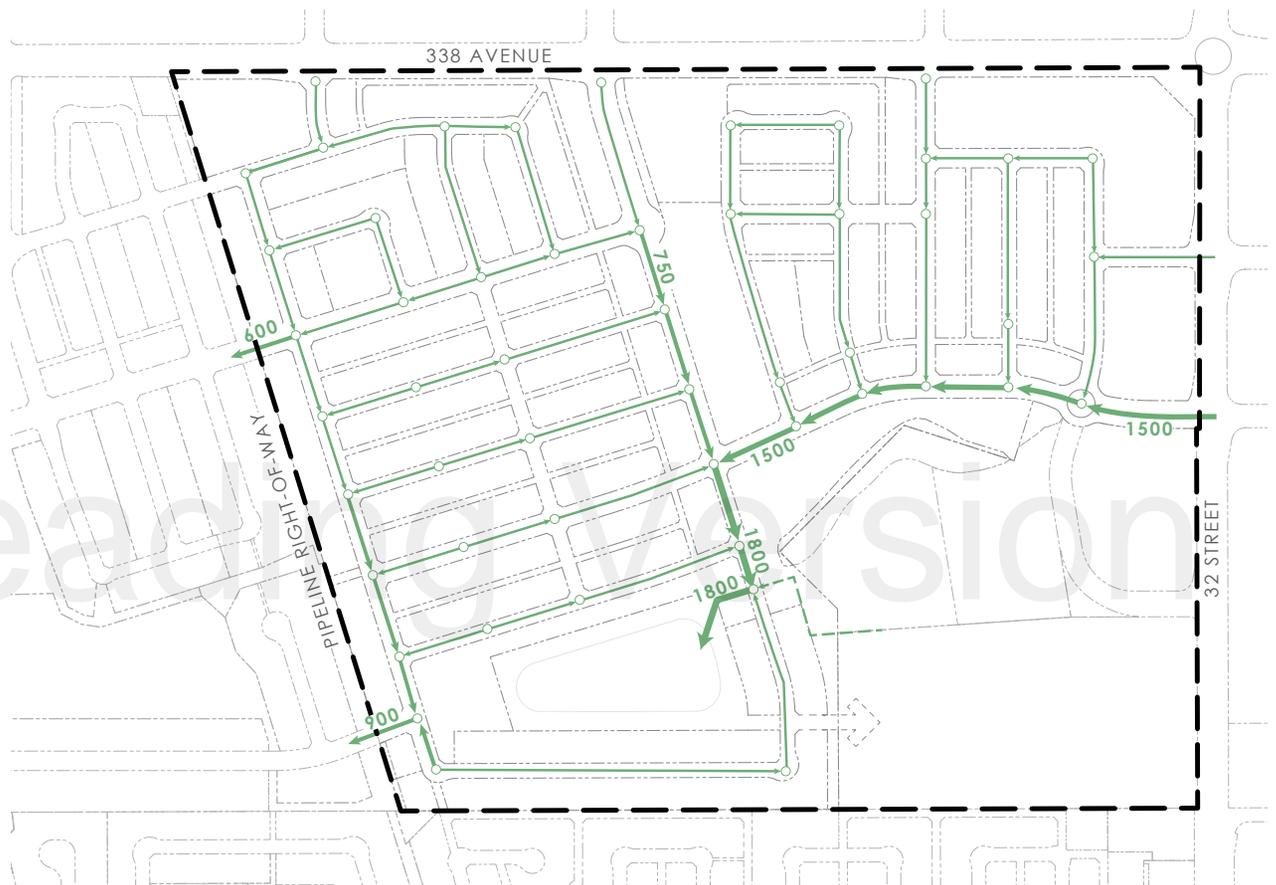
3.7.3 STORMWATER MANAGEMENT

Stormwater for the Wedderburn East Plan Area will be managed by the existing storm pond in Wedderburn West and a new storm pond that will be constructed in Wedderburn East. Approximately 16.2 ha of the Wedderburn East Plan Area will be directed to the existing storm pond in Wedderburn West. Approximately 7.6 ha will be directed to the existing storm stub located in Highwood Drive on the east side of the gas line right-of-way, and approximately 8.6 ha will be directed to the existing storm stub in Wedderburn Drive on the east side of the pipeline right-of-way.

Along the southern boundary there will be some area that will not be directed to either storm pond due to the grades of the development and the elevations of the storm system. This area will comprise the rear back of lots and will be directed towards the existing drainage course within the gas pipeline right-of-way that drains south into the existing communities.

There is an existing drainage course that flows generally north to south through the Wedderburn East area that receives stormwater drainage from land north of 338 Avenue. This drainage course will be modified and incorporated into the development of Wedderburn East. Some landscaped areas adjacent to the proposed drainage course through the Wedderburn East land (back of lots, MRs, etc.) will drain directly to the

FIGURE 18. STORMWATER SERVICING



Legend

- NASP Boundary
- 1800 mm
- 1500 mm
- 900 mm
- 750 mm
- 600 mm



drainage course. The proposed storm pond has been sized for the remaining area of Wedderburn East as well as portions of 338 Avenue, 32 Street, and all of the Community Campus site area. The existing storm system in the Community Campus land will be connected to the Wedderburn East storm system and the interim storm servicing currently in place for that site could be abandoned.

A Staged Master Drainage Plan has been prepared and the detailed pond design will adhere to this plan. The stormwater directed to the pond will be treated with an OGS unit to meet Alberta Environment guidelines. The storm pond will discharge at pre-development rates to where the original drainage course ties to the existing community to the south. The pond will be designed to contain up to the 1:500 year storm event which eliminates the need to provide an emergency escape route as the capacity of the downstream drainage course through the pipeline right-of-way has limited capacity. In storm events greater than 1:500 year events, or the discharge pipe becomes plugged, the pond would spill to the west into the realigned drainage course that will flow along the north and west side of the pond.

During detailed engineering design, stormwater re-use opportunities will be explored to meet the Town's desire to reduce the dependence on potable water for municipal site irrigation. Opportunities may include irrigation of some park spaces in Wedderburn East and the Community Campus site. Other uses for stormwater (truck fill up) may be considered subject to the availability of stormwater after it is used for irrigation.

3.7.4 SHALLOW UTILITIES

Shallow utilities (power, telecommunications, and gas) will be extended from the existing Wedderburn development to the west through the Wedderburn East NASP Plan Area. These utilities will be installed in accordance with the Town of Okotoks standards.

3.7.5 SERVICING POLICIES

- Policy 3.44** All utility servicing must comply with the Town of Okotoks Infrastructure Design & Construction Specifications.
- Policy 3.45** Off-site levies will be required in accordance with the *Municipal Government Act* and the Town's Off-site Levy Bylaw.
- Policy 3.46** All infrastructure constructed or installed by the developer that benefits lands beyond the Plan Area will be subject to appropriate cost sharing arrangements.
- Policy 3.47** All future land use redesignations, subdivision, and development within the Plan Area will be subject to the Town of Okotoks Water Allocation Policy.
- Policy 3.48** Water and sanitary servicing studies must be accepted by the Town of Okotoks prior to the construction of Phase 1.
- Policy 3.49** Sufficient downstream capacity shall be confirmed and infrastructure constructed and operational as part of Phase 1 of the Wedderburn East subdivision.
- Policy 3.50** The stormwater feature proposed for the southern portion of the Plan Area should be designed as a naturalized feature that performs both stormwater servicing and passive recreation functions.
- Policy 3.51** Opportunities for stormwater re-use will be explored during detailed engineering design to help meet the Town of Okotoks's objective to reduce dependence on potable water for the irrigation of municipal lands.



- Policy 3.52** A Water Quality Management Report (WQMP) must be accepted by the Town of Okotoks prior to the implementation of a stormwater re-use system in Wedderburn East.
- Policy 3.53** Low Impact Development (LIDs) and Best Management Practices (BMPs) shall be used in the proposed development to achieve the overall goal of stormwater management and volume control in addition to the centralized system (i.e. the Storm Pond).
- Policy 3.54** The East Wedderburn stormwater system shall be designed to receive and attenuate stormwater flows from the 338 Avenue E. expansion, and from the 32 Street E. expansion.
- Policy 3.55** The stormwater pond, or an interim version thereof, may be required to be constructed in advance of the phasing outlined in **Figure 19: Phasing** to support the Community Campus site.
- Policy 3.56** Stormwater design for Wedderburn East will align with the assumptions and findings of the Wedderburn East Staged Master Drainage Plan and the North Okotoks Annexation Lands Master Drainage Plan.
- Policy 3.57** Endeavors to Assist will be provided for any oversized stormwater infrastructure.
- Policy 3.58** The development of Wedderburn East does not require any offsite upgrades for stormwater infrastructure. Any offsite upgrades will be the responsibility of the future developments to the north.

3.8 Phasing

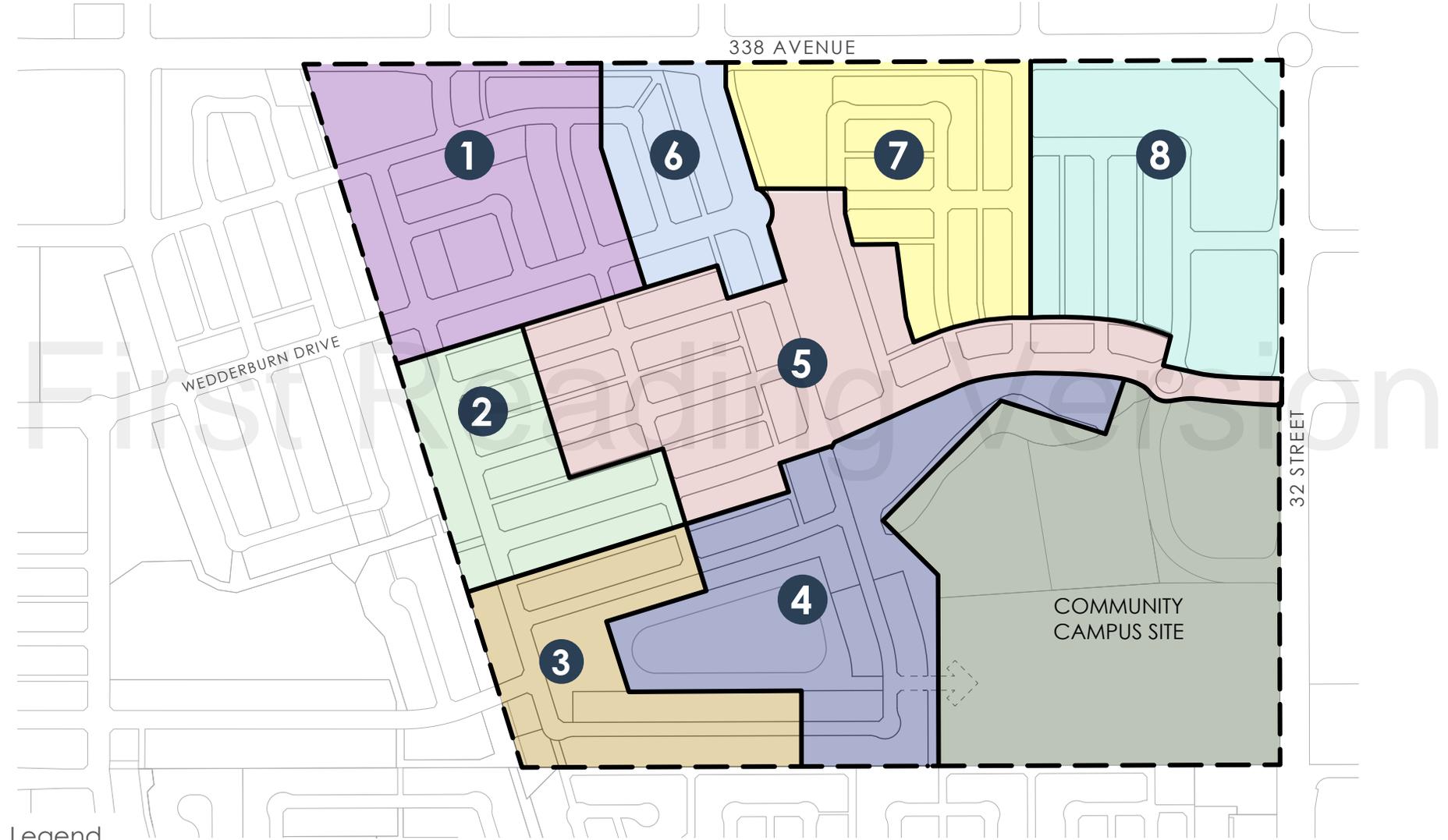
Wedderburn East will be developed over time through multiple phases. Phasing will be influenced by the efficient extension of municipal services, which should occur from north to south then east. **Figure 19** illustrates the anticipated phasing of development in the Plan Area.

3.8.1 PHASING POLICIES

- Policy 3.59** Development in Wedderburn East should be phased in the order generally outlined in **Figure 19: Phasing**. Variations to phase boundaries may occur at the discretion of the developer and the Town of Okotoks based on engineering considerations and/or market demand.
- Policy 3.60** Storm water from Phases 1, 2 and 3 will be directed to the storm pond west of the gas pipeline, outside the NASP boundary in Wedderburn West.



FIGURE 19. PHASING



Legend

- NASP Boundary
- Phase Boundary

Wedderburn East

NEIGHBOURHOOD AREA STRUCTURE PLAN

